

**PROJECT DATA:**

2006 International Building Code  
 2006 International Mechanical Code  
 2006 International Plumbing Code  
 2006 International Fuel Gas Code  
 2006 International Energy Conservation Code  
 2008 National Electrical Code (NEC NFPA 70)  
 Special Guidelines for Electrical and Low Voltage Installation  
 2009 Life Safety Code (NFPA 101)  
 2009 Uniform Fire Code (NFPA 1)  
 2010 ADA standards for Accessible Design  
 (ICC A117.1-2009 / Chapter 11 - International Building Code, 2009 edition)

**EXISTING CONSTRUCTION:**

Construction Type: V - B  
 Occupancy Type: Group B - Business  
 Number of Stories: one  
 Height of Building: 40'-0" max.  
 Building Area:  
 Existing: 1,362 sq. ft.  
 New: 1,452 sq. ft. - 90 sq. ft. addition

**ENERGY CODE:**

The proposed changes are reducing the electrical lighting load with fixture replacements. Existing circuiting will be used with substantially less load. Changes are noted on the site plan. There are no changes to the building mechanical or envelope.

**GENERAL NOTES:**

- For the purpose of these drawings and the accompanying specifications the term "by G.C." will refer to items provided and installed by the general contractor, their subcontractors and or agents. The term "by owner" will refer to items provided by the owner and installed by the general contractor. The term N.I.C. will refer to items not in contract or provided and installed by the owner and or their agents.
- Unless noted otherwise, all items are assumed to be by "G.C."
- All work to be performed shall comply with all governing federal, state and municipal codes and ordinances.
- Do not scale drawings.

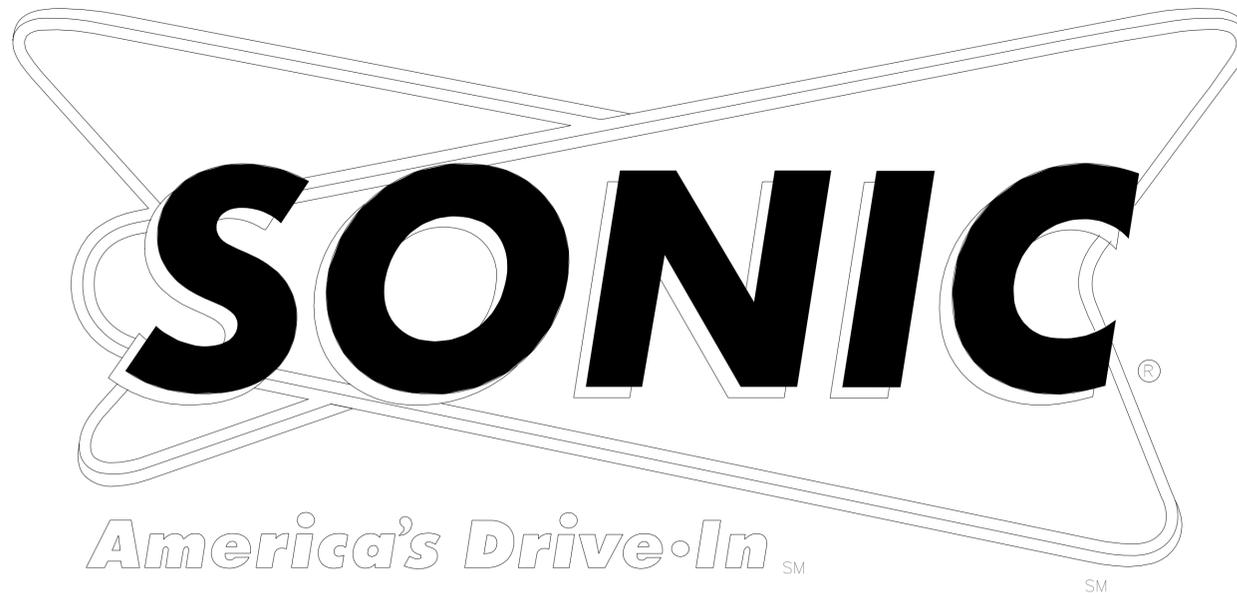
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**VICINITY MAP - N.T.S.**



**Exterior Retrofit**

7230 Nolensville Rd.      Store# 3704      Project # 1308  
 Nolensville, TN 37135

**INDEX OF DRAWINGS:**

Sheet Number	Sheet Name
GO.0	Title Sheet
D1.0	Demolition Plan
C1.0	Site Plan
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A1.2	Site Details
A3.1	Existing Exterior Elevations
A3.2	Renovated Exterior Elevations
A3.3	Renovated Exterior Color Elevations
A3.4	Statement of Architectural Compatibility and Facade Overlays
A3.5	Photographs
A8.1	Canopy Details

**OWNER:**

David Watson  
 556 Midway Cir.  
 Franklin, TN 37027  
 PH: 615-397-1000

**CONTRACTOR:**

S Builders  
 P.O. Box 71  
 Hartsville, TN 37074  
 PH: 615-948-4691  
 F: 615-374-0666  
 sbuilders244@bellsouth.net

**SCOPE OF WORK:**

Coordinate all Work performed and material to be provided with Owner. Verify all materials, sizes, and colors prior to purchase of materials.

Preference Work to be performed overnight or during off-peak hours to minimize interference with operations. Notify manager in advance of work schedule. GC to secure all required inspections.

**EXTERIOR RETROFIT**

- Provide traffic barriers in areas of work.
- Demo as required for new storage expansion at rear of store. New addition per plans with lower parapet to match brick color and style.
- Remove red and yellow canopy trim, neon, and C channels and modify canopy fascia to receive new EIFS profile trim. Remove red cones and transformers, and square off deck for new trim. Install new EIFS profile trim.
- Prep and paint 28 canopy columns and 4 hollow metal doors as indicated in the drawings.
- Remove existing red poster boards and install new blue disk P.O.P. wall poster boards.
- Remove existing T12 fluorescent strip fixtures (26) on the underside of the canopy and replace with new T8 fluorescent strip fixtures.
- Reclad existing 26 menu housings with new trim package and additions. Contractor to confirm quantity.
- Remove existing patio heater, cap gas and electrical.
- Demo as required and construct 10 spaces, curb and gutter for new parking and new remote 8 stall canopy with new EIFS profile trim.



**ARCHITECTURE**

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No.	Issues/Revisions	Date
-	Site Plan Submittal	7/8/13
-	Design Review Revisions	9/3/13
-	Site Plan Revision	9/23/13



**Exterior Retrofit**

7230 Nolensville Rd.  
 Nolensville, TN 37135      Store# 3704

Proj. No: 1308

Date: 6/24/13

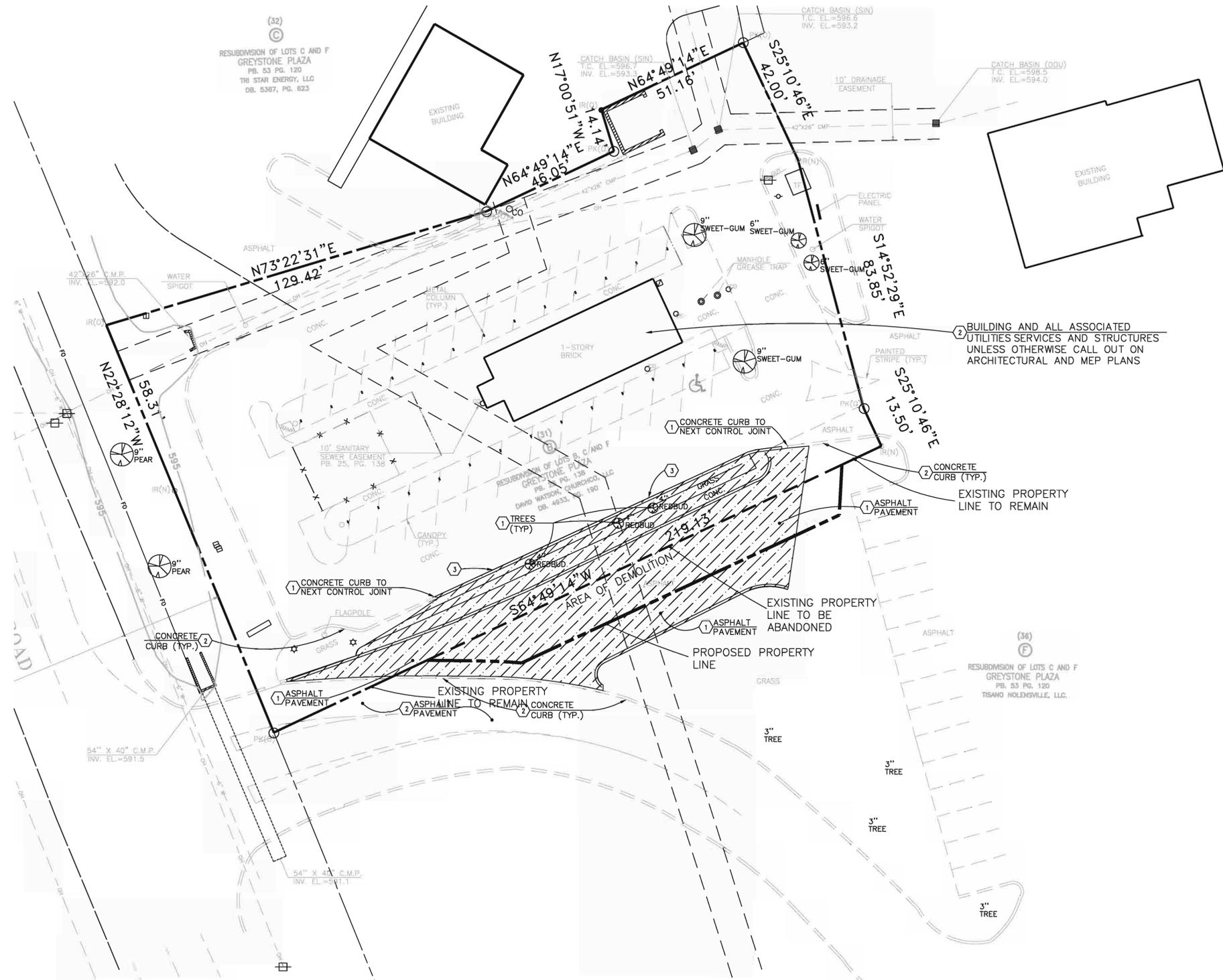
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Title Sheet

Drawing sheet is full size at 22" x 34"  
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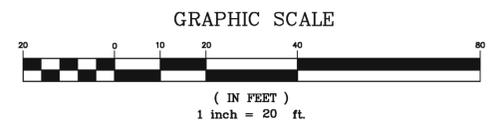
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GO.0



- DEMOLITION NOTES**
1. PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
  2. THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
  3. EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE. IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
  4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
  5. THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT SHOWN ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
  6. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE PROVIDER.
  7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A TENNESSEE REGISTERED LAND SURVEYOR).
  8. REMOVE AND DISCARD ALL EXISTING ASPHALT PAVEMENT AND BASE MATERIAL AT LEAST 6" BELOW ASPHALT WITHIN THE LIMITS SHOWN. EXISTING SUBBASE MATERIAL MAY BE REUSED PROVIDED IT IS STABILIZED AND COMPACTED PER THE TYPICAL PAVEMENT DETAIL.

- DEMOLITION KEY NOTES**
- ① REMOVE EXISTING STRUCTURE
  - ② PROTECT EXISTING STRUCTURE
  - ③ SAWCUT ASPHALT / CONCRETE



**Civil Engineering Services**  
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 Fairview, Tennessee 37062  
 e-mail: ray@civilengineeringservices.net



DATE	REVISIONS



DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_

DEMOLITION PLAN  
**SONIC DRIVE-IN**  
 7230 NOLENSVILLE ROAD  
 NOLENSVILLE, TN

SHEET NO.  
**D1.0**  
 JOB NO.: 2013-0115

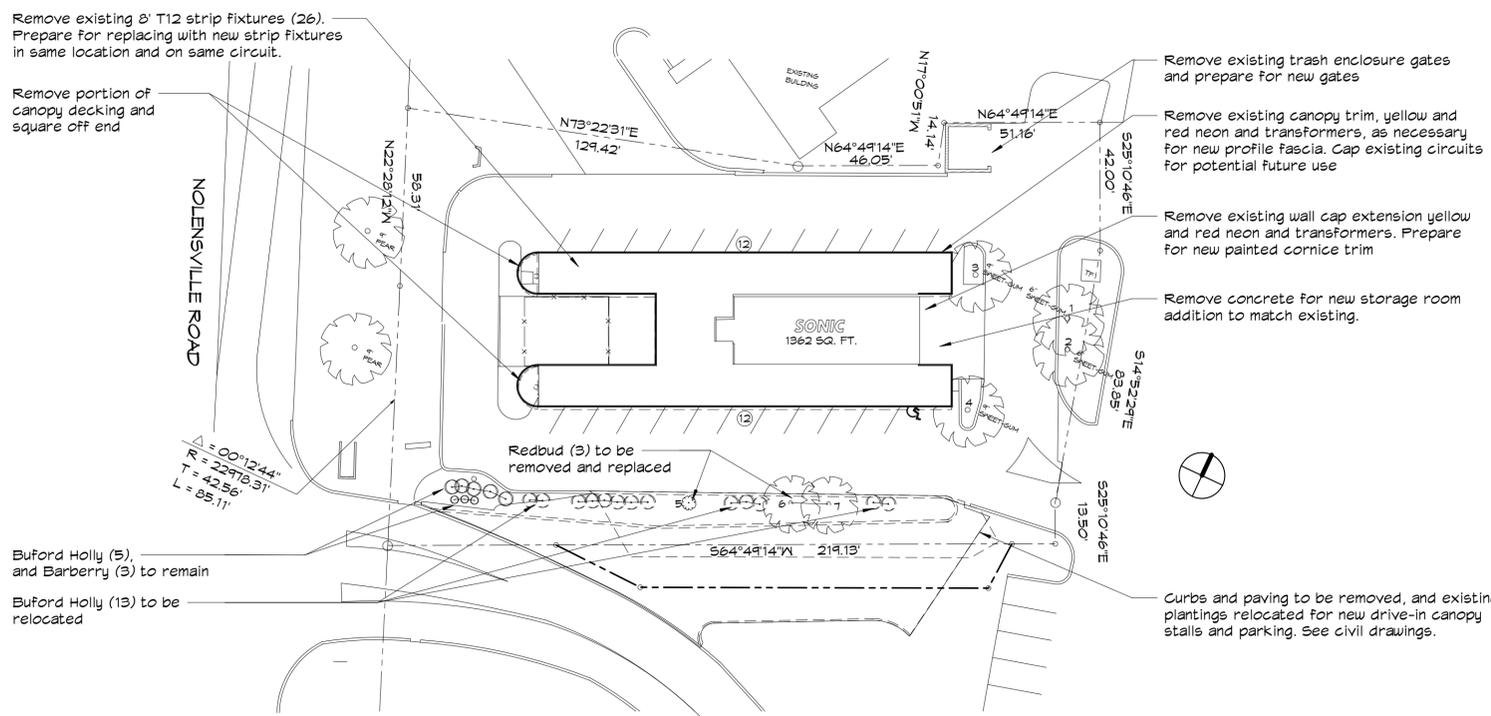








No.	Issues/Revisions	Date
-	Site Plan Submission	7/8/13
-	Design Review Revisions	9/3/13
-	Site Plan Revision	9/23/13



1 Existing Site Plan  
A1.1 1" = 30'-0"

Landscaping:

Existing Trees to Remain:

Key	Size	Species
1	6"	Sweet gum
2	6"	Sweet gum
3	9"	Sweet gum
4	9"	Sweet gum

Total caliper inches of trees to remain: 30"

Existing Trees to be Removed:

Key	Size	Species
5	1"	Redbud ( <i>Cercis canadensis</i> )
6	4"	Redbud ( <i>Cercis canadensis</i> )
7	4"	Redbud ( <i>Cercis canadensis</i> )

Total caliper inches of trees to be removed: 9"

New Trees to be Added:

Key	Size	Species
8	2"	Redbud ( <i>Cercis canadensis</i> )
9	2"	Redbud ( <i>Cercis canadensis</i> )
10	2"	Redbud ( <i>Cercis canadensis</i> )
11	2"	Redbud ( <i>Cercis canadensis</i> )

Total caliper inches of trees to be added: 8"

Notes:

- All landscaping is to be planted in Fall/Winter when plants are dormant.
- Landscaping to be watered by hose attachment at appropriate intervals of no less than twice a week during hot and dry months and once a week during cooler months adjusting for recent rain events.

Electrical Note:

The electrical information shown is to indicate design intent. The replacement of lighting fixtures and trim is being presented as facility maintenance due to changes in technology and lack of available replacement parts. It is not the intent to add any additional electrical circuits, but to reuse existing circuits at substantially lower loads. All circuits no longer necessary are to be removed to the existing panel board. All lighting fixture upgrades are to be completed by a Tennessee licensed electrician with any additional permitting required.

Electric Load Summary

Load Removed:

Linear Neon:  
0.75 watts per ft. x 1276 ft. = 11,165 w

Fluorescent Strip Lights: (8 ft - 2 lamp)  
T-12 (160w) x 26 lights = 4,160 w

Load Added:

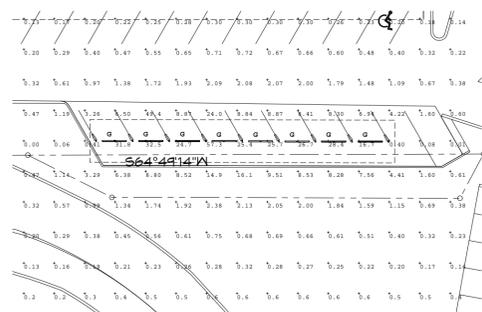
Fluorescent Strip Lights: (4 ft tandem - 4 lamp)  
T-8 (101w) x 34 lights = 3,434 w

Total Removed: 15,325 w

Total Added: 3,434 w

Net Difference: 11,891 w reduction in load

No upgrade to existing service or panels required - Reduction in load.



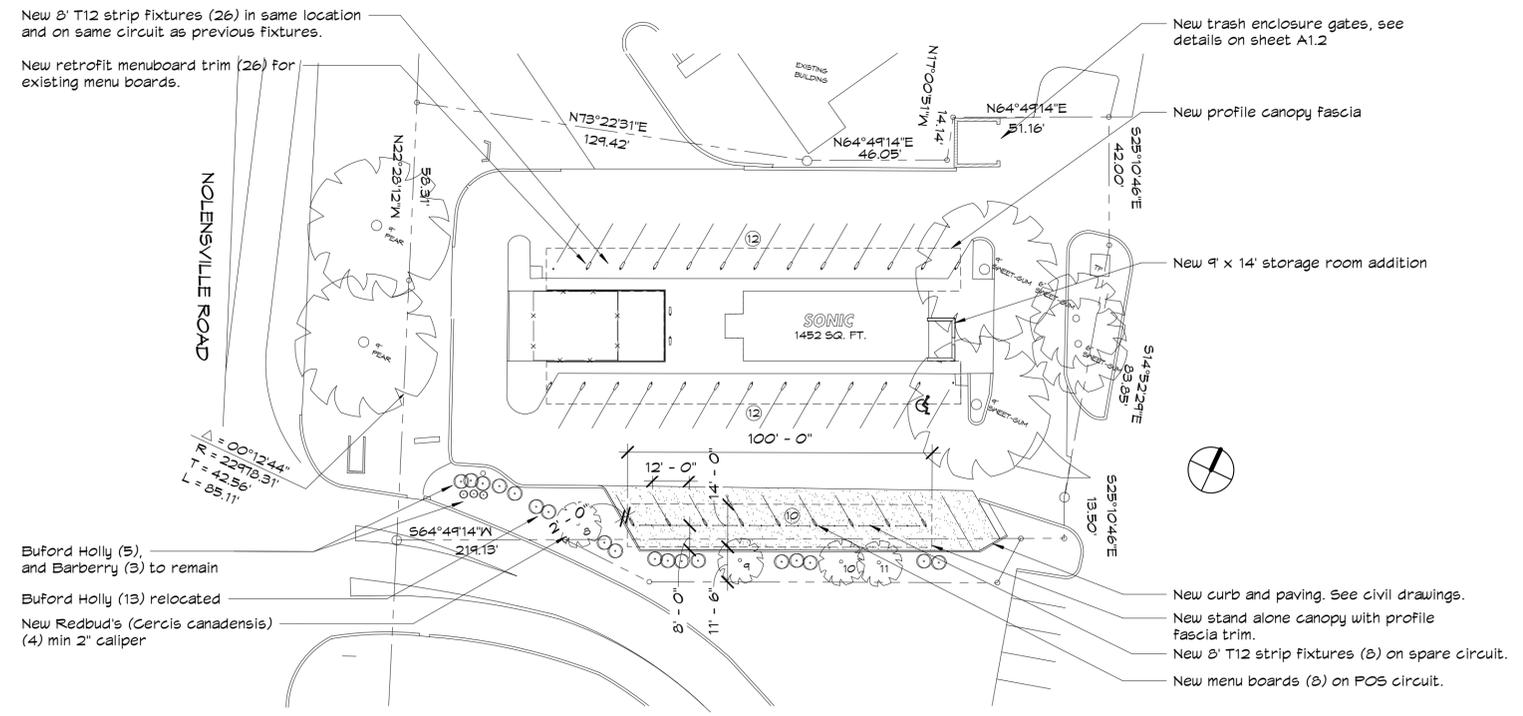
3 New Canopy Photometric  
A1.1 1" = 30'-0"

Fixture Schedule:

Type	Model Number	Description	Manufacturer	No. Lamps	Lamp
G	BT55F232UNIV-EB81	8' 4 lamp strip	Cooper	4	F32T8

Site Lighting Data	
Area Designation:	Commercial
Land Use:	Nonresidential
Zoning District:	C5
Height of Proposed/Existing Building:	14'-10"
Pole Height:	N/A
Pole/Fixture Color:	N/A
Color of Light:	white

This Lighting Plan has been designed to meet the Town of Nolensville Standards and the approval of the Planning Commission. Changes shall not be made to the approved lighting plan unless approved by either the relevant department superintendent or the Planning Commission.



2 Renovated Site Plan  
A1.1 1" = 30'-0"

Exterior Retrofit

7230 Nolensville Rd.  
Nolensville, TN 37135 Store# 3704

Proj. No: 1308  
Date: 6/24/13

Sheet Title:

Existing & Renovated Site Plan

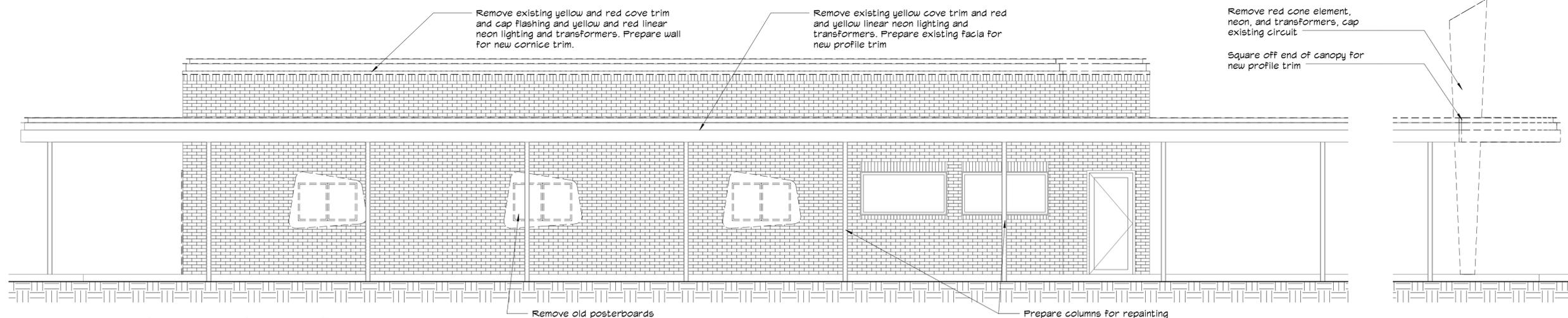
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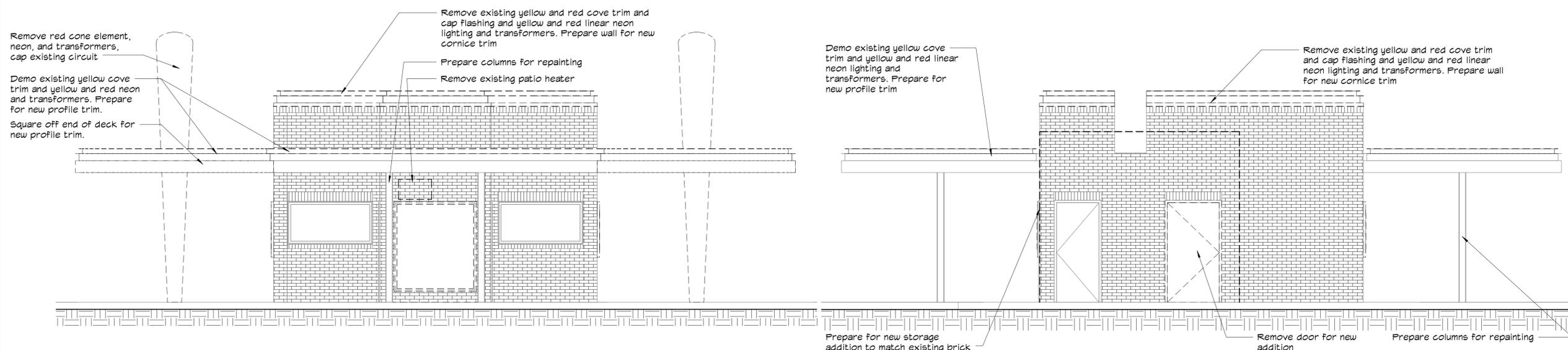




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-	Site Plan Revision	9/23/13

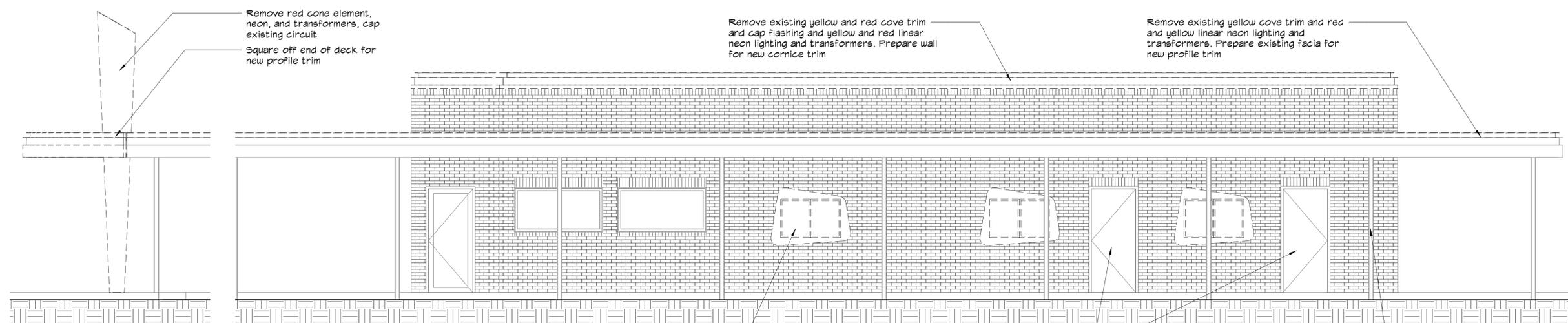


1  
A3.1  
**Existing Left Side Elevation**  
1/4" = 1'-0"



2  
A3.1  
**Existing Front Elevation**  
1/4" = 1'-0"

3  
A3.1  
**Existing Rear Elevation**  
1/4" = 1'-0"



4  
A3.1  
**Existing Right Side Elevation**  
1/4" = 1'-0"

Exterior Retrofit

7230 Nolensville Rd.  
Nolensville, TN 37135 Store# 3704

Proj. No: 1308  
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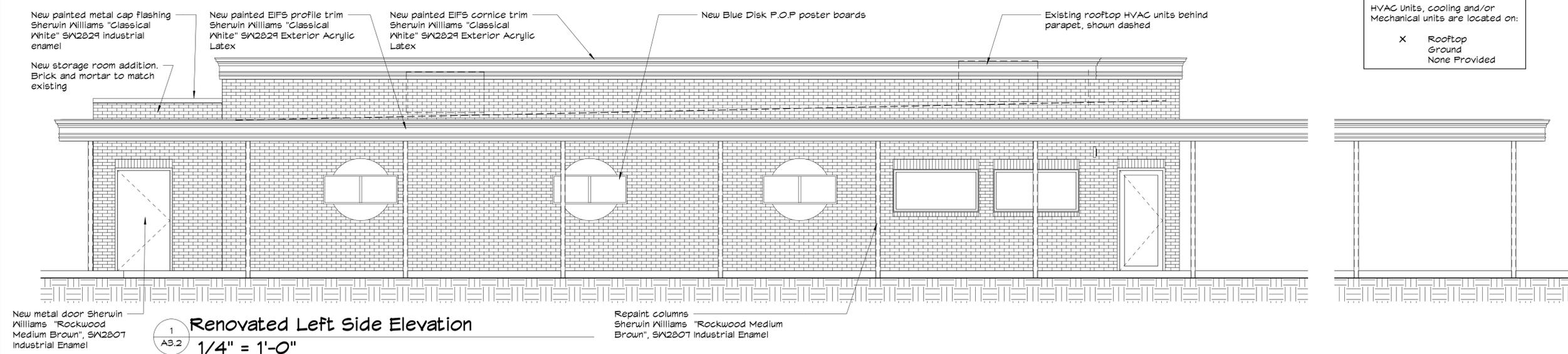
Sheet Title:  
**Existing Exterior Elevations**

Drawing sheet is full size at 22" x 34"  
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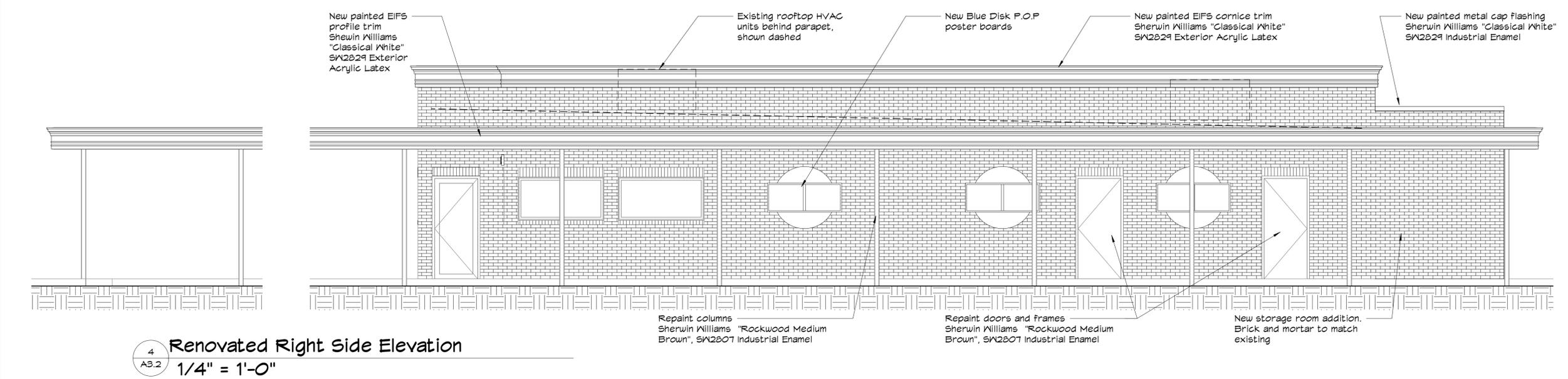
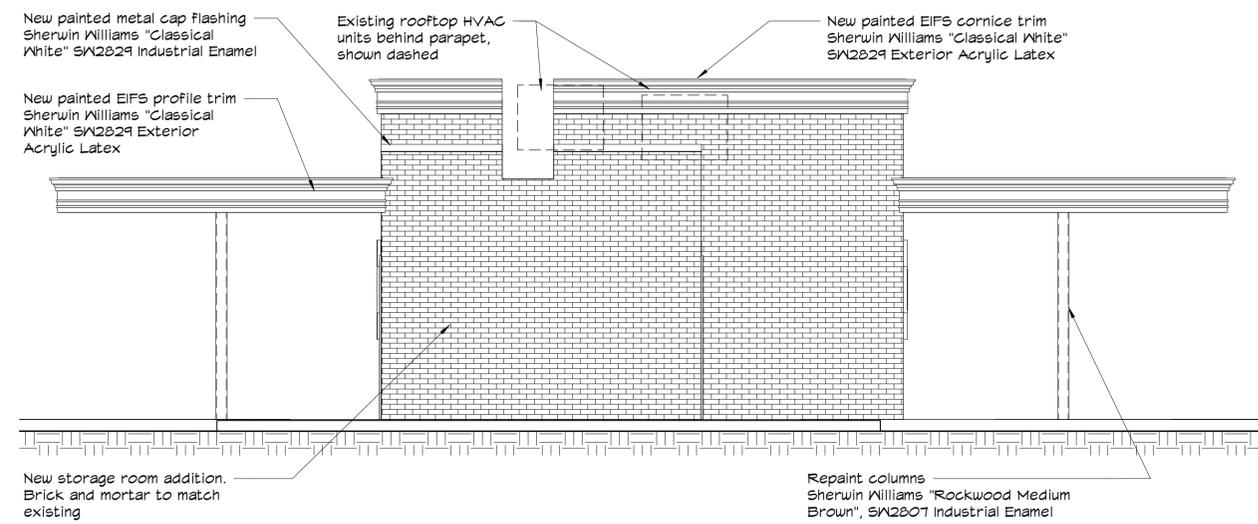
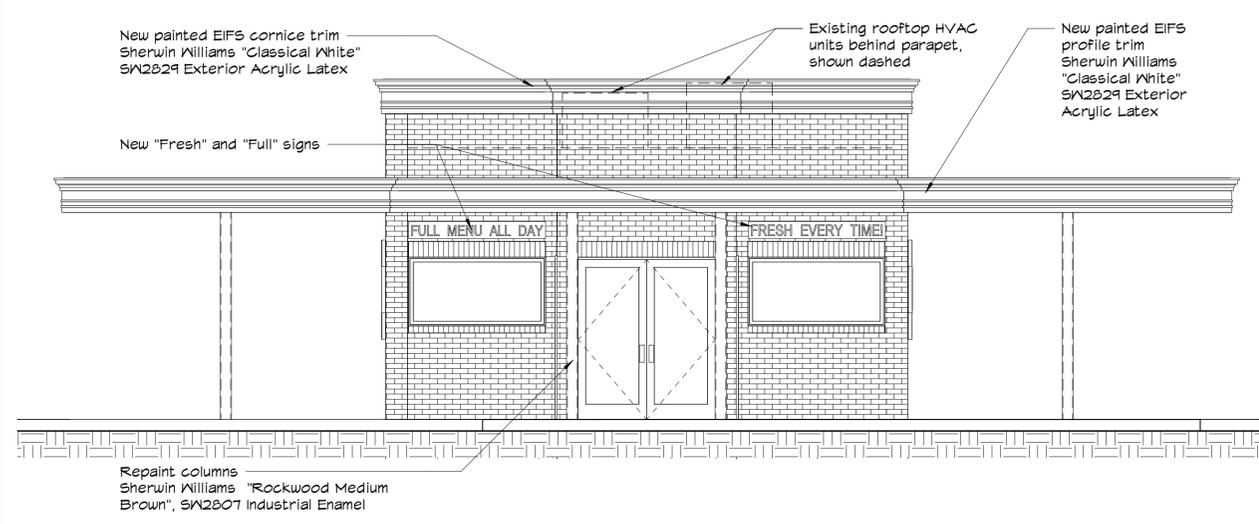
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No.	Issues/Revisions	Date
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HVAC Units, cooling and/or Mechanical units are located on:  
X Rooftop  
Ground  
None Provided



Exterior Retrofit

7230 Nolensville Rd.  
Nolensville, TN 37135 Store# 3704

Proj. No: 1308  
Date: 6/24/13

Sheet Title:  
**Renovated Exterior Elevations**

Drawing sheet is full size at 22" x 34"  
reduced 11" x 17" sheet is true half size

Sheet No.:  
A3.2



No.	Issues/Revisions	Date
-	Site Plan Submission	7/8/13
-	Design Review Revisions	9/3/13
-	Site Plan Revision	9/23/13



1  
A3.3 **Renovated Front Elevation - Color**  
1/4" = 1'-0"

New Materials Color:  
All Paints Shall Be Sherwin-Williams Industrial & Marine Coatings semi-gloss sheen.

Cornice and canopy fascia:  
"Classical White" SW2829  
Exterior Acrylic Latex

Cap Flashing at addition:  
"Classical White" SW2829  
Industrial Enamel

Canopy columns and hollow metal doors:  
"Rockwood Medium Brown", SW2807  
Industrial Enamel

Sonic Yellow: "Forsythia", SW 6907

Sonic Blue: Pantone 272BC

Storefront Door and Window Frames:  
Bronze anodized aluminum, clear glazing

Front and Rear Elevations are shown at 1/4" = 1'-0" scale, and Side Elevations and New Canopy Elevations are shown at 1/8" = 1'-0" to clearly show extents of canopy.

Net Surface Area Chart:  
(With the exception of roof forms and canopy's all walls are brick)

Front Elevation	Surface Area	Percent of Net
Gross of Wall	387	N/A
Net* of Wall	205	N/A
Net* of Brick	205	100%

Left Elevation	Surface Area	Percent of Net
Gross of Wall	1,109	N/A
Net* of Wall	802	N/A
Net* of Brick	802	100%

Right Elevation	Surface Area	Percent of Net
Gross of Wall	1,109	N/A
Net* of Wall	754	N/A
Net* of Brick	754	100%

Rear Elevation	Surface Area	Percent of Net
Gross of Wall	379	N/A
Net* of Wall	282	N/A
Net* of Brick	282	100%

\* Excludes roof forms, cap flashing, windows, doors, canopy's, and similar features



2  
A3.3 **Renovated Left Side Elevation - Color**  
1/8" = 1'-0"

HVAC Units, cooling and/or Mechanical units are located on:  
X Rooftop  
Ground  
None Provided



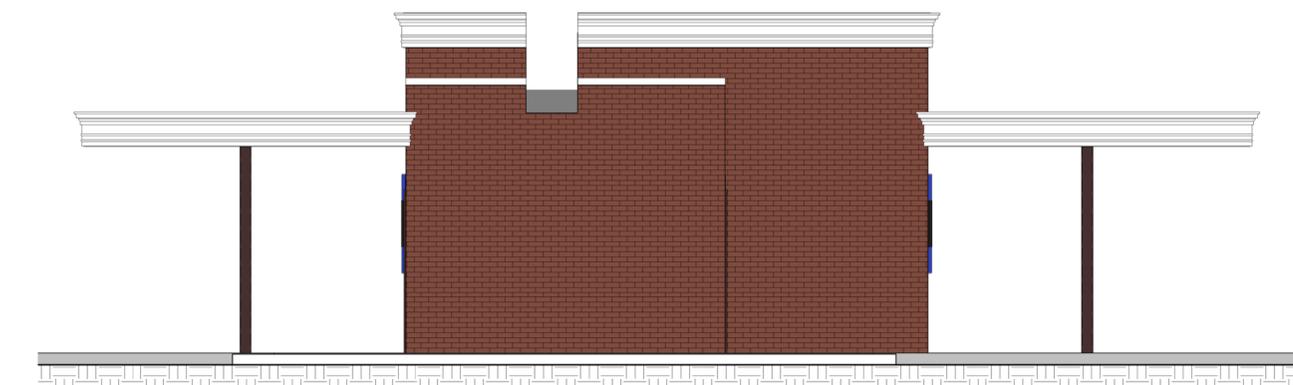
5  
A3.3 **New Canopy - Front Elevation**  
1/8" = 1'-0"



3  
A3.3 **Renovated Right Side Elevation - Color**  
1/8" = 1'-0"



6  
A3.3 **New Canopy - Rear Elevation**  
1/8" = 1'-0"



4  
A3.3 **Renovated Rear Elevation - Color**  
1/4" = 1'-0"



8  
A3.3 **New Canopy - Right Elevation**  
1/8" = 1'-0"



7  
A3.3 **New Canopy - Left Elevation**  
1/8" = 1'-0"

Exterior Retrofit

7230 Nolensville Rd.  
Nolensville, TN 37135 Store# 3704

Proj. No: 1308  
Date: 6/24/13

Sheet Title:

Renovated Exterior Color Elevations

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Sheet No.:



**Statement of Architectural Compatibility:**

**Statement of Design Intent:**

Our design intent is to update the current Sonic Drive-In to the current prototypical model and components. The drive-in as a building type is designed specifically to address the automobile and its interaction with the surrounding canopies. Underneath the canopy in front of the building we have covered patio seating at a human scale, and a playground, and walks along the sides and back of the building. The building interior is primarily the kitchen and food prep area, with the only public indoor space being restrooms along one side of the building. The human element includes the delivery of food to vehicles by carhops, as well as guests use of the patio seating and playground.

Since this project is a renovation of an existing store from an earlier prototype we are working with the existing facades with only changes to building cap flashings and canopy fascia and paint colors to exterior doors and columns. The new canopy trim is the boldest statement, and is an EIFS cornice profile to better comply with the local design ordinance.

**Physical Site Description:**

The existing site is relatively flat draining away from the building. It is positioned as an outlet on a recently renovated shopping center, and its primary driveway access to the site is from the rear, and from an adjacent gas station parcel. The building has perimeter parking along the long edges with a surrounding drive aisle. Perimeter landscaping is provided at the front Western edge, the side Southern edge between the parcel and shopping center drive aisle entry, and along the back Eastern edge between the shopping center and the rear drive aisle along the back of the building.

**Principles for Facade Design:**

The principles as we felt applied to our retrofit are elaborated upon at each overlay below.

**Site Considerations:**

The existing site is an existing out parcel of a recently renovated shopping strip center. In addition to our work incorporating an additional canopy for 8 more drive-in spaces we will finish the demolition of asphalt paving and landscaping infill at the newly reconfigured shopping center driveway.

**1. Materials Overlay**



Net Surface Area Chart: (With the exception of roof forms and canopy's all walls are brick)

**Front Elevation**

	Surface Area	Percent of Net
Gross of Wall	387	N/A
Net* of Wall	205	N/A
Net* of Brick	205	100%

**Right Elevation**

	Surface Area	Percent of Net
Gross of Wall	1,109	N/A
Net* of Wall	754	N/A
Net* of Brick	754	100%

**Rear Elevation**

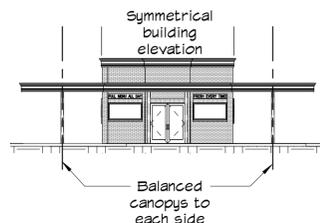
	Surface Area	Percent of Net
Gross of Wall	379	N/A
Net* of Wall	282	N/A
Net* of Brick	282	100%

**Left Elevation**

	Surface Area	Percent of Net
Gross of Wall	1,109	N/A
Net* of Wall	802	N/A
Net* of Brick	802	100%

\* Excludes roof forms, cap flashing, windows, doors, canopies, and similar features

**2. Composition Overlay**



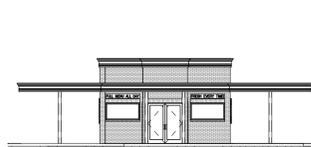
**3. Scale Overlay**



Due to the nature of this project as a retrofit of existing building it is not feasible to provide continuous details indicating a human scale along the walls without revising all exterior walls.

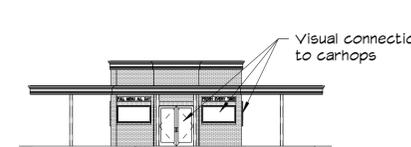
The canopy and patio area does provide connection at a human scale.

**4. Proportion Overlay**



The proportions within the design were predetermined due to the retrofit of the existing building. The spacing away from the adjacent buildings and the existing tree lines makes proportional variations between them less relevant.

**6. Transparency Overlay**



Transparency is used at the front and sides at the front of the store in the carhop area. This creates a visual connection to the carhops and final prep area.

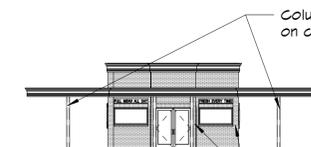
The remainder of the building is primarily kitchen areas with either equipment or storage of materials and is not appropriate for additional transparency.

**5. Rhythm Overlay**



The columns are on a grid spacing reinforcing a repetitious visual organization to the building and canopy.

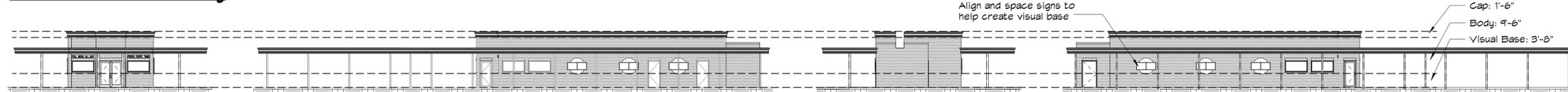
**8. Expression Overlay**



The existing masonry and the masonry added are correctly displaying load bearing characteristics around windows and doors to the base.

The canopy structure has an inherent logic to the grid of support providing columns on a regular grid spacing that cars park between for service. The columns are regular grid unit with the exception of the two columns in the patio area.

**7. Articulation Overlay**

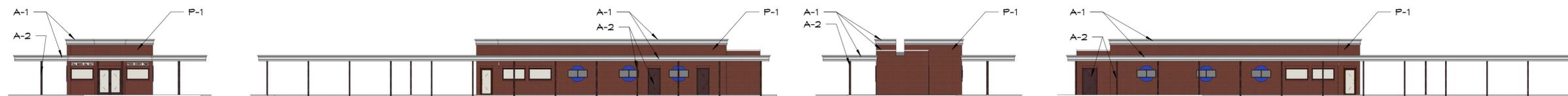


**Base:** There was no existing articulation to the base of the building - so we have tried to align signage along the sides of the building to visually create a base element below the windows and signage.

**Body:** The existing and new brick at the front are providing the body of the building and are the largest zone.

**Cap:** The existing neon lit double cove cap is being replaced with an EIFS profile shape cornice.

**9. Color Overlay**



Primary Color (P-1): Existing Brick, New Brick to match

Accent Color (A-1): "Classical White" SW2829  
Accent Color (A-2): "Rockwood Medium Brown", SW2807

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**Exterior Retrofit**

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Nolensville, TN 37135 Store# 3704

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**Statement of Architectural Compatibility and Facade Overlays**

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Existing building at rear



Existing building at left side



Existing building at left side



Existing canopy at left side



Existing building at front



Existing building at front



Existing building along right side walk



Similar building canopy at night - red and yellow neon



Nolensville Town Center



Nolensville Town Center



Similar Gate with Cedar Pickets

### Exterior Retrofit

7230 Nolensville Rd.  
Nolensville, TN 37135 Store# 3704

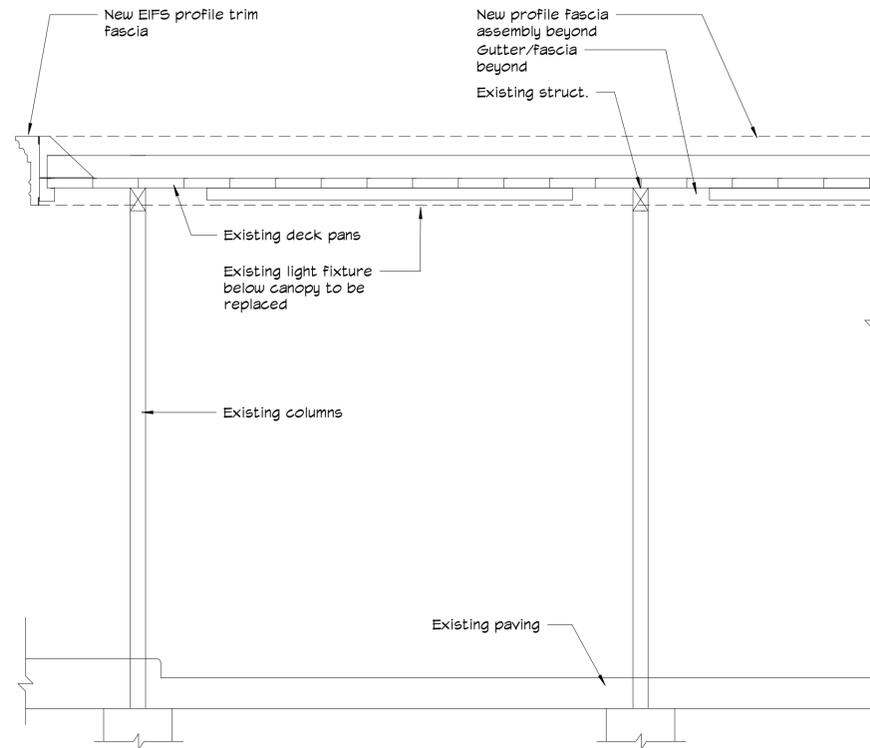
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Date: 6/24/13

Sheet Title:

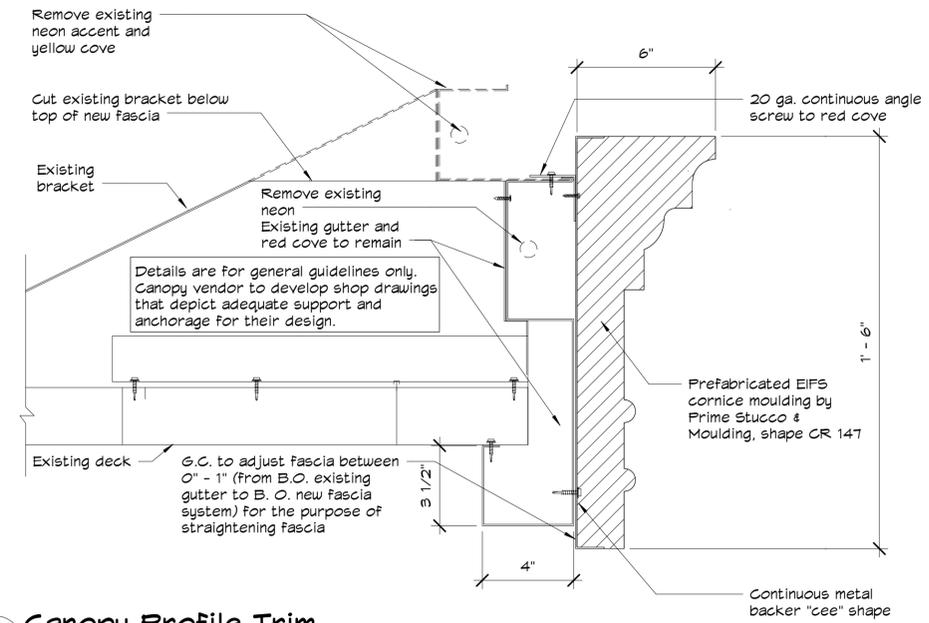
### Photographs

Drawing sheet is full size at 22" x 34"  
reduced 11" x 17" sheet is true half size

Sheet No.:



1  
A8.1 Profile Trim at Canopy  
1/2" = 1'-0"



2  
A8.1 Canopy Profile Trim  
3" = 1'-0"

Details of the new canopy trim are for general guidelines only. Canopy vendor to develop shop drawings that depict adequate support and anchorage for their design. Shop drawings and calculations are to be stamped by a Tennessee licensed structural engineer.



No.	Issues/Revisions	Date
-	Site Plan Submission	7/8/13
-	Design Review Revisions	9/3/13
-	Site Plan Revision	9/23/13

Exterior Retrofit

7230 Nolensville Rd.  
Nolensville, TN 37135 Store# 3704

Proj. No: 1308  
Date: 6/24/13

Sheet Title:

Canopy Details

Drawing sheet is full size at 22" x 34"  
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Sheet No.: