

PROVIDENCE BAPTIST CHURCH PARKING LOT EXPANSION

1668 SUNSET ROAD
BRENTWOOD, WILLIAMSON COUNTY, TENNESSEE

SITE DATA

PROJECT NAME: PROVIDENCE BAPTIST CHURCH - PARKING LOT EXPANSION
PROPOSED USE: RELIGIOUS INSTITUTION
MAP: 56
PARCEL: 25.09
ADDRESS: 1668 SUNSET ROAD
CITY: BRENTWOOD
COUNTY: WILLIAMSON
STATE: TENNESSEE

EXISTING ZONING: SR - RELIGIOUS INSTITUTION
ACREAGE OF SITE: 5.11 AC.
SQUARE FOOTAGE OF SITE: 222,632 S.F.
MINIMUM REQUIRED SETBACK & YARD LINES:
FRONT: 75' (ARTERIAL)
SIDE: 15' (INTERIOR) & 20' (EXTERIOR)
REAR: 20'
MAXIMUM I.S.R.: 0.50
MAXIMUM HEIGHT: 35'
MINIMUM GREEN SPACE REQUIRED: 10%

OWNER: PROVIDENCE BAPTIST CHURCH
ADDRESS: 1668 SUNSET ROAD
CITY, STATE: BRENTWOOD, TN, 37027
PHONE NO.: 615.283.8197
CONTACT NAME: JOSEPH STEGALL, LEAD PASTOR
EMAIL: JSTEGALL@INSIDEPBF.COM

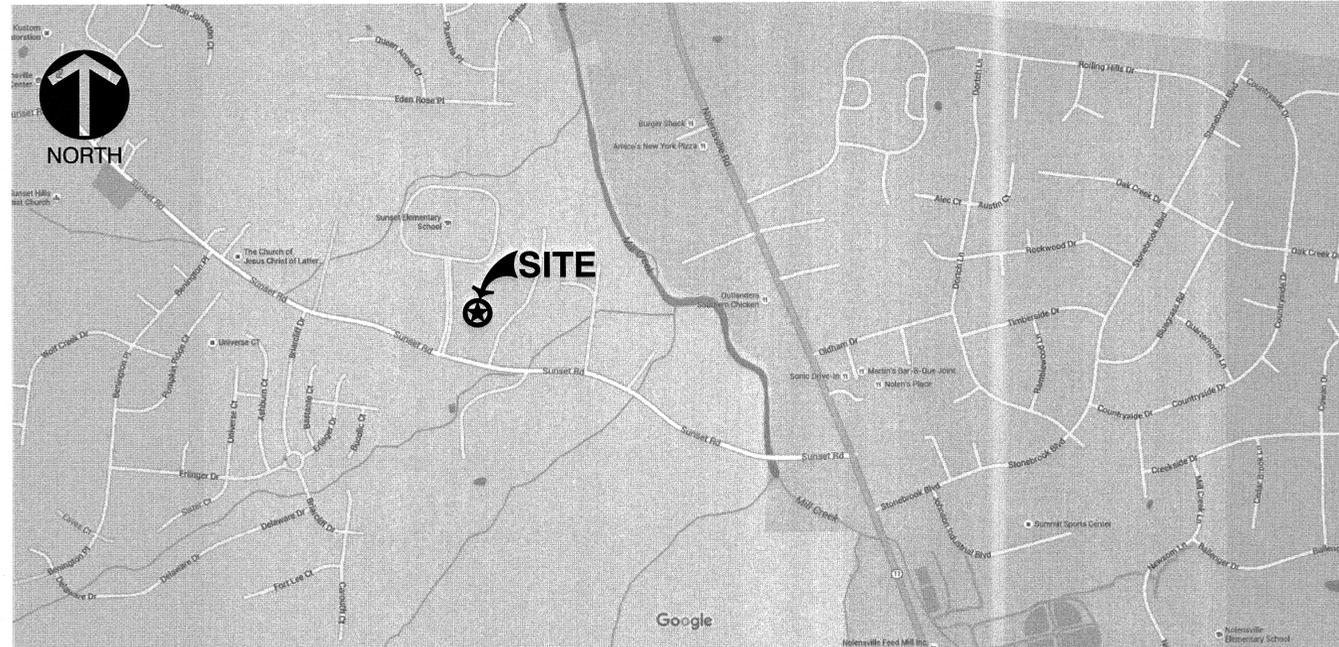
APPLICANT: CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
ADDRESS: 325 SEABOARD LANE, SUITE 170
CITY, STATE: FRANKLIN, TN 37067
PHONE NO.: 615.333.7797
FAX: 615.333.7751
CONTACT NAME: JEFF SHAVER, P.E., CPESC
EMAIL: JSHAVER@CECINC.COM

MAXIMUM NUMBER OF SEATS ALLOWED: 672 SEATS
2 ACRES = 50 SEATS + (3.11 AC/0.5X(100)) = 672 SEATS
EXISTING NUMBER OF SEATS: 323 SEATS

TOTAL DISTURBED AREA 0.91 ACRES
PARKING LOT EXPANSION IMPERVIOUS AREA = 0.55 ACRES
TOTAL PROPOSED SITE IMPERVIOUS AREA = 2.13 ACRES
MAXIMUM ISR: 0.50
PROPOSED ISR: 0.42

PARKING REQUIRED: 1 SPACE/5 SEATS = 65 TOTAL SPACES
PARKING PROVIDED: 174 TOTAL SPACES

THIS SITE HAS BEEN DESIGNED TO MEET THE TOWN OF NOLENSVILLE DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.



LOCATION MAP
REFERENCE: GOOGLE
SCALE: N.T.S.

RESOURCE LIST:

TOWN ENGINEER & BUILDING OFFICIAL
7218 NOLENSVILLE ROAD
NOLENSVILLE, TN 37135
615.776.3323
CONTACT: DON SWARTZ

TOWN PLANNER
7218 NOLENSVILLE ROAD
NOLENSVILLE, TN 37135
615.776.6688
CONTACT: HENRY LAIRD

LIST OF DRAWINGS

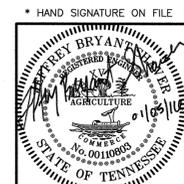
C000	COVER SHEET
C001	GENERAL NOTES
C100	EXISTING CONDITIONS
C200	SITE LAYOUT PLAN
C300	GRADING AND DRAINAGE PLAN
C800	DETAILS
C900	EROSION AND SEDIMENTATION CONTROL PLAN
L100	LANDSCAPE PLANS
L101	DETAILS

REVISION RECORD

Civil & Environmental Consultants, Inc.
325 Seaboard Lane - Suite 170 - Franklin, TN 37067
615-333-7797 - 800-763-2326
www.cecinc.com

PROVIDENCE BAPTIST CHURCH
PARKING LOT EXPANSION
1668 SUNSET ROAD
TOWN OF NOLENSVILLE
WILLIAMSON COUNTY, TENNESSEE

COVER SHEET
DATE: JANUARY 2016
DRAWN BY: KLU
AS SHOWN
CHECKED BY: JCC
PROJECT NO: 159-921
APPROVED BY: JBS



FOR PERMITTING ONLY
NOT FOR CONSTRUCTION
Date: 01-05-16 By: JBS

DRAWING NO.:
C000
SHEET OF



Know what's below.
Call before you dig.

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE ENGINEER OR LANDSCAPE ARCHITECT'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

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GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
3. WHERE CONFLICTS EXIST BETWEEN DESIGN PLANS, PROJECT SPECIFICATIONS, AND GEOTECHNICAL REPORT, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
4. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR LANDSCAPE ARCHITECT FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
5. SITE IS TO BE CONSTRUCTED IN A MANNER THAT REDUCES DISRUPTION TO NEIGHBORING OPERATIONS TO MAXIMUM EXTENT POSSIBLE. TEMPORARY MEASURES REQUIRED TO FACILITATE DAILY OPERATIONS DURING THE CONSTRUCTION PERIOD SHALL BE IMPLEMENTED BY THE CONTRACTOR; UNDER NO CIRCUMSTANCES SHOULD IMPLEMENTATION OF THESE MEASURES JEOPARDIZE THE SAFETY OF NEIGHBORING EMPLOYEES OR THE CONTRACTOR.
6. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
7. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A TEMPORARY BASIS AT THE SITE.
8. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
9. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH ALL FEDERAL OSHA REGULATIONS. CONTRACTOR TO PAY PARTICULAR ATTENTION TO 29 CFR PART 1926, SUBPARTS M AND P.
10. ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
11. ALL LAND-DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTION AND SITE INVESTIGATION BY THE TOWN OF NOLENSVILLE AND/OR THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION. FAILURE TO COMPLY WITH THESE REGULATIONS IS SUBJECT TO LEGAL ENFORCEMENT ACTION.
12. THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD AREA, AS SHOWN ON COMMUNITY MAP 47187C02235F, PANEL # 235 OF 485, EFFECTIVE DATE, 09-29-2006, WILLIAMSON COUNTY, TENNESSEE.

SURVEY NOTES

1. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
6. EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., DATED NOVEMBER 2015.
7. BEFORE INSTALLATION OF STORM, SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
8. VERTICAL DATUM: NAVD-88
9. BEARINGS ARE BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83)

DEMOLITION NOTES

1. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD.
2. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
3. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR OBTAINS PRIOR WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
4. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND SHALL FUNCTION PROPERLY PRIOR TO INITIALIZATION OF DEMOLITION ACTIVITIES.
5. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES.
6. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
8. PROVIDE NEAT, STRAIGHT, FULL DEPTH, SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION AND ALONG EDGES OF NEW PAVEMENT.
9. ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL, WHEN APPLICABLE, WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: WELLS, ASBESTOS, UNDER GROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION RECOMMENDATIONS AND GUIDANCE. AVAILABLE ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO: PHASE I ESA, PHASE II ESA, WETLAND AND STREAM DELINEATION AND ASBESTOS SURVEY. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST TO THE OWNER.
12. NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
13. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE PROVIDED THAT THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE REPORT OF GEOTECHNICAL INVESTIGATION. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING.
14. THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITY.

LAYOUT NOTES

1. THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH THE TOWN OF NOLENSVILLE. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO: INCREASED IMPERVIOUS PAVEMENT, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, LANDSCAPING, ETC.
2. THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING CONDUITS, PRIOR TO INSTALLATION OF PAVED SURFACES.
5. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
6. SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.

GRADING NOTES

1. EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
2. CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
3. ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EPSC PLAN, UNLESS NOTED OTHERWISE.
4. ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
5. GRADING OPERATIONS TO BE CONDUCTED IN A MANNER THAT MINIMIZES TRACKING OF SOILS ONTO PAVEMENT.

DRAINAGE NOTES

1. DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
3. ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
4. THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, PIPING AND CONNECTION ETC. AS REQUIRED TO CONVEY PAVED SURFACE DRAINAGE THROUGH THE SITE.
5. ALL STORM STRUCTURES ARE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) TYPES UNLESS OTHERWISE INDICATED.
6. STORM SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES CONSIST OF AASHTO #57 STONE. BEDDING TO BE MINIMUM OF 6" MIN. BELOW & 12" MIN. ABOVE THE PIPE.
7. ALL TRENCH SPOILS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.

EROSION AND SEDIMENT CONTROL NOTES

1. PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES OR INITIATION OF EARTH DISTURBING ACTIVITIES, THE CONTRACTOR SHALL CLEARLY DELINEATE THE PROPOSED LIMITS OF DISTURBANCE IN THE FIELD UTILIZING FLAGGING, STAKES, AND/OR CONSTRUCTION FENCE. NO DISTURBANCE BEYOND THESE LIMITS SHALL BE PERMITTED WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ENGINEER, THE AFFECTED PROPERTY OWNER AND ANY APPLICABLE REGULATORY AGENCIES.
2. THE CONSTRUCTION ACTIVITIES ANTICIPATED FOR THIS PROJECT INCLUDES GRADING AND PAVING.
3. THE APPROXIMATE TOTAL DISTURBED AREA OF THIS SITE IS 0.91 ACRES. ANY INCREASE IN THE APPROXIMATE TOTAL DISTURBED AREA SHALL BE APPROVED BY TOWN OF NOLENSVILLE PRIOR TO ADDITIONAL DISTURBANCE. DISTURBANCE OVER 1 ACRE WILL REQUIRE COVERAGE UNDER THE TDEC GENERAL NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
4. CONSTRUCTION SHALL BE SEQUENCED BY THE CONTRACTOR AS TO MINIMIZE EXPOSURE TIME OF CLEARED SURFACE AREAS. PERIMETER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONAL PRIOR TO EARTH MOVING OPERATIONS.
5. THE CONTRACTOR SHALL DESIGNATE IN WRITING THE NAME AND PHONE NUMBER OF THE PERSON(S) RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AT THE SITE. THIS INFORMATION SHALL BE POSTED AT THE JOB SITE TRAILER, OR AT THE SITE CONSTRUCTION SIGN.
6. PRE-CONSTRUCTION VEGETATIVE GROUNDCOVER SHALL NOT BE REMOVED MORE THAN 14 DAYS PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES. ALL GRADED AREAS EXPECTED TO REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE COVERED WITH TEMPORARY GRASS, SOD, STRAW, MULCH, OR FABRIC MATTING. STEEP SLOPES (GREATER THAN 35%) SHALL BE TEMPORARILY STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED. PERMANENT SOIL STABILIZATION SHALL BE INSTALLED WITHIN 15 DAYS OF THE ESTABLISHMENT OF FINAL GRADES.
7. THE CONTRACTOR SHALL MAINTAIN RECORDS OF EROSION AND SEDIMENT CONTROL FOR A PERIOD OF THREE YEARS AFTER COMPLETION OF CONSTRUCTION OR AS REQUIRED BY GOVERNING AUTHORITIES.
8. TEMPORARY SEEDING FOR THIS PROJECT SHALL UTILIZE TDOT, TDEC OR LOCAL STANDARDS UNLESS OTHERWISE INDICATED HEREON.
9. MULCHING SHALL CONSIST OF LOOSE HAY OR STRAW APPLIED AT A RATE OF 2 TONS PER ACRE. MULCH MUST BE CRIMPED INTO THE SOIL BY MECHANICAL MEANS. BROADCAST SPREADING OF MULCH IS NOT ACCEPTABLE.
10. SOIL STOCKPILES SHALL BE STABILIZED AND PROTECTED FROM EROSION. ALL STOCKPILES SHALL BE COVERED WITH TEMPORARY SEEDING AND PROTECTED WITH SILT FENCING.
11. FOR ALL SLOPES 3:1 OR STEEPER, TEMPORARY EROSION CONTROL BLANKET (TENSAR NORTH AMERICAN GREEN S150 OR APPROVED EQUAL) OR SOD (REF. EPSC PLANS FOR TYPE OF PERMANENT STABILIZATION) INSTALLED PER MANUFACTURERS' RECOMMENDATIONS SHALL BE USED IN PLACE OF STRAW MULCH.
12. FOR PERMANENT STABILIZATION OF DRAINAGE DITCHES & DETENTION POND, INSTALL TURF REINFORCEMENT MATTING (TENSAR NORTH AMERICAN GREEN SC250 OR APPROVED EQUAL) OR SOD (REF. EPSC PLANS FOR TYPE OF PERMANENT STABILIZATION) SHALL BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
13. ALL DISTURBED AREAS TO BE PERMANENTLY STABILIZED WITH SOD SHALL BE AS FOLLOWS: SOD SHALL BE HIGH-QUALITY TURF TYPE TALL FESCUE OF KNOWN GENETIC ORIGIN, FREE OF NOXIOUS WEEDS, DISEASE, AND INSECT PROBLEMS. SOD SHALL APPEAR HEALTHY AND VIGOROUS AND CONFORM TO ALL SPECIFICATIONS IN THE TDEC SEDIMENT AND EROSION CONTROL HANDBOOK, LATEST EDITION.
14. THE LOCATION OF SOME OF THE EROSION CONTROL MEASURES MAY NEED TO BE ALTERED DUE TO CHANGING SITE CONDITIONS COMMENSURATE WITH PROGRESS OF THE WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION AND SEDIMENT CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES OF CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
15. EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED. SEEDING AREAS MUST HAVE A MINIMUM 70% COVERAGE PRIOR TO REMOVAL OF THE TEMPORARY EROSION CONTROL DEVICES. FINAL SEEDING AND ESTABLISHMENT OF GROUNDCOVER SHALL BE APPLIED TO ANY AREA DISTURBED AS A RESULT OF THE REMOVAL OF THE EROSION CONTROL MEASURES.
16. CONTRACTOR SHALL PREPARE, IMPLEMENT, AND MAINTAIN A SPILL PREVENTION, CONTROL AND COUNTERMEASURES (SPCC) PLAN, AS A SEPARATE DOCUMENT OR AS A COMPONENT OF THE SWPPP, FOR ALL TANKS/CONTAINERS STORING ONSITE FUEL, CHEMICALS, OR OTHER POLLUTANTS CONSISTENT WITH THE REQUIREMENTS OF STATE NPDES RULES. EFFECTIVE MEASURES NECESSARY TO PREVENT SPILLS AND TO CLEAN UP SPILLS OF ANY TOXIC POLLUTANT, AS DOCUMENTED IN THE FACILITY'S SPCC PLAN, SHALL BE FULLY IMPLEMENTED. SOIL CONTAMINATED BY HAZARDOUS SUBSTANCES, PAINTS, FUEL, OR CHEMICAL SPILLS, SHALL BE IMMEDIATELY CLEANED UP, MANAGED, AND DISPOSED OF IN AN APPROVED MANNER, WHERE POTENTIAL SPILLS CAN OCCUR, MATERIALS HANDLING PROCEDURES SHALL BE SPECIFIED AND PROCEDURES FOR IMMEDIATE CLEANUP/REMEDIATION OF SPILLS SHALL BE DESCRIBED IN THE SPCC PLAN OR EMPLOYEE TRAINING PLANS. THE EQUIPMENT NECESSARY TO IMPLEMENT A CLEANUP SHALL BE MADE AVAILABLE TO FACILITY PERSONNEL. THE OPERATOR SHALL IMMEDIATELY NOTIFY THE DESIGNATED STATE AND LOCAL GOVERNMENT AGENCIES AFTER BECOMING AWARE OF A VISIBLE OIL SHEEN IN STORMWATER RUNOFF FROM ITS FACILITY OR IN A WATER OF THE STATE IN THE PROJECT VICINITY AS A RESULT OF ACTIVITIES AT THE SITE. THE CALLER SHOULD BE PREPARED TO REPORT THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PERSON REPORTING SPILL, THE EXACT LOCATION OF THE SPILL, COMPANY NAME AND LOCATION, THE MATERIAL SPILLED, THE ESTIMATED QUANTITY, THE SOURCE OF THE SPILL, THE CAUSE OF THE SPILL, THE NEAREST DOWNSTREAM WATER WITH THE POTENTIAL TO RECEIVE THE SPILL, AND THE ACTIONS BEING TAKEN FOR CONTAINMENT AND CLEANUP.
17. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH TDEC SEDIMENT AND EROSION CONTROL HANDBOOK, LATEST EDITION.

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 - 800-763-2326
 www.cecinc.com

**PROVIDENCE BAPTIST CHURCH
 PARKING LOT EXPANSION
 1668 SUNSET ROAD
 TOWN OF NOLENSVILLE
 WILLIAMSON COUNTY, TENNESSEE**

DATE	JANUARY 2016	DRAWN BY:	KLU
DWG SCALE	AS SHOWN	CHECKED BY:	JJC
PROJECT NO.	159-921	APPROVED BY:	JBS



FOR PERMITTING ONLY
 NOT FOR CONSTRUCTION
 Date: 01-05-16 By: JBS

DRAWING NO.: **C001**
 SHEET OF



NOTE TO CONTRACTOR:

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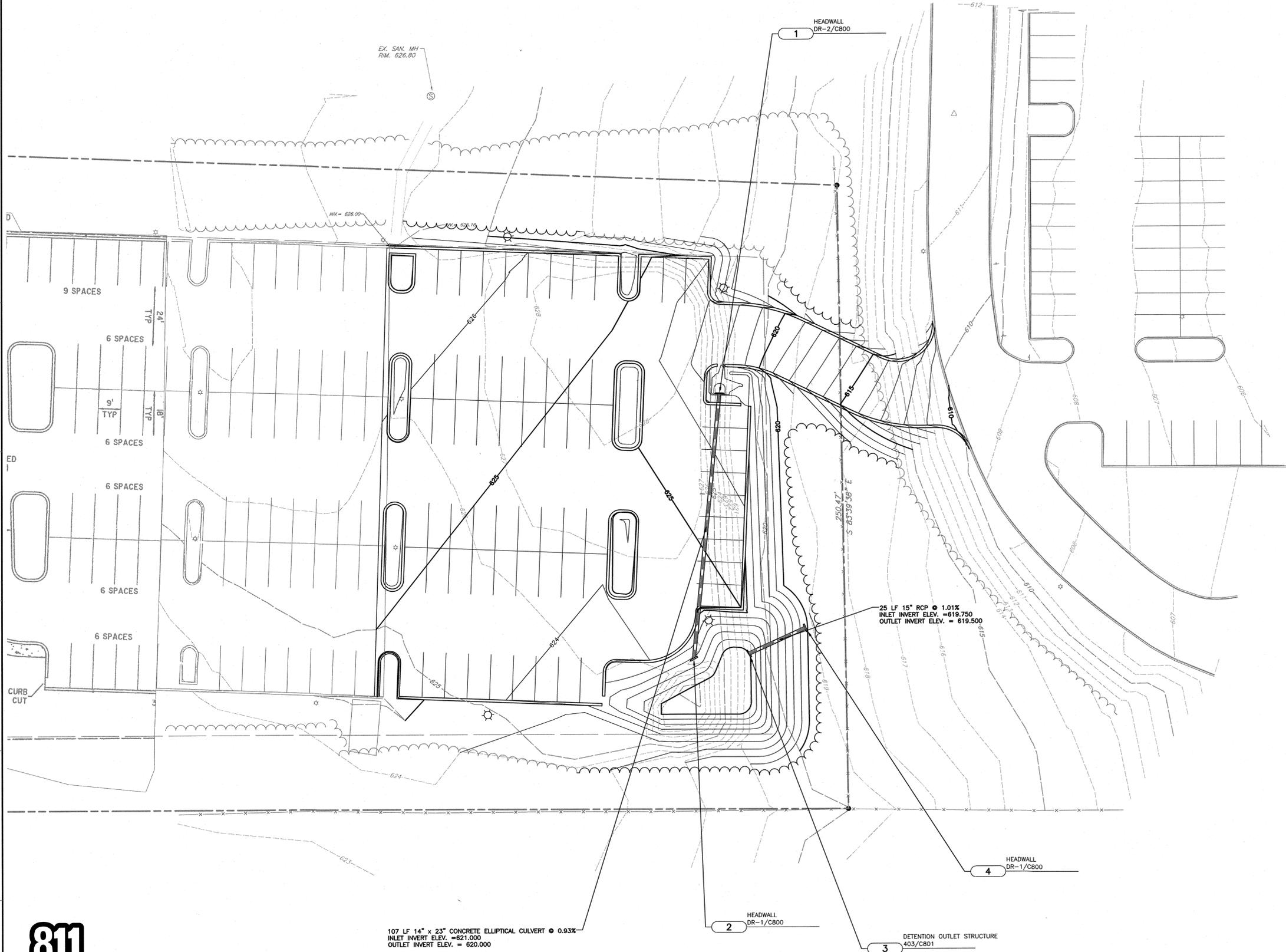
NORTH

LEGEND:

	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING FENCE
	EXISTING DITCH FLOW LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM SEWER LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING FIBER OPTIC LINE
	EXISTING TELEPHONE LINE
	EXISTING UNDERGROUND ELEC. LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING TREELINE
	EXISTING SPOT ELEVATION
	IRON PIN FOUND
	BENCHMARK
	MAG NAIL SET
	SIGN
	SANITARY MANHOLE
	PROPOSED CURB
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED STORM SEWER LINE

NOTES

- SEE SHEET C001 FOR GENERAL, SURVEY, DEMOLITION, LAYOUT, GRADING, DRAINAGE, AND EPSC NOTES.



107 LF 14" x 23" CONCRETE ELLIPTICAL CULVERT @ 0.93%
 INLET INVERT ELEV. = 621.000
 OUTLET INVERT ELEV. = 620.000

25 LF 15" RCP @ 1.01%
 INLET INVERT ELEV. = 619.750
 OUTLET INVERT ELEV. = 619.500

REVISION RECORD

NO.	DATE	DESCRIPTION

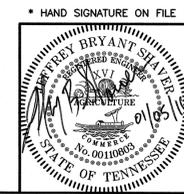
Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 • 800-763-2326
 www.cedinc.com

**PROVIDENCE BAPTIST CHURCH
 PARKING LOT EXPANSION
 1668 SUNSET ROAD
 TOWN OF NOLENSVILLE
 WILLIAMSON COUNTY, TENNESSEE**

SITE GRADING AND DRAINAGE PLAN

DATE:	JANUARY 2016	DRAWN BY:	KLU
DWG SCALE:	AS SHOWN	CHECKED BY:	JJC
PROJECT NO.:	159-921	APPROVED BY:	JBS

DRAWING NO.: **C300**

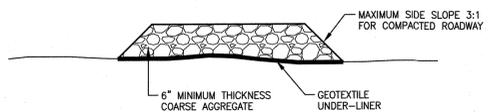
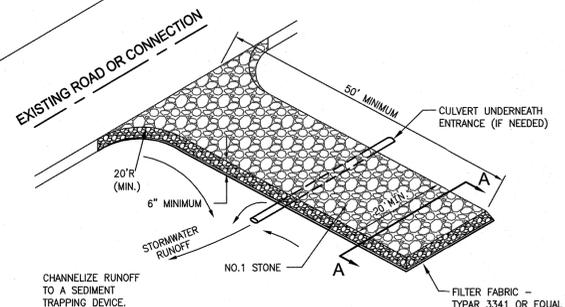


FOR PERMITTING ONLY
 NOT FOR CONSTRUCTION
 Date: 01-05-16 By: JBS



NOTE TO CONTRACTOR:
 THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE ENGINEER OR LANDSCAPE ARCHITECT'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

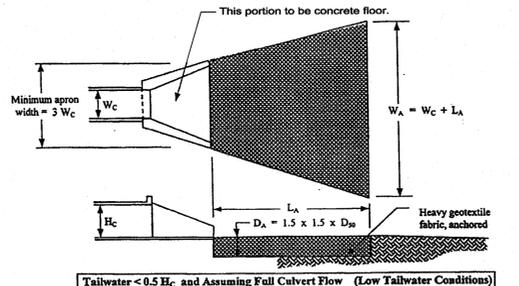
P:\2016\153-921-C300\Draw\DWG\153921001-C300.dwg(1/5/2016 - msc/mjg) - LP: 1/5/2016 3:04 PM



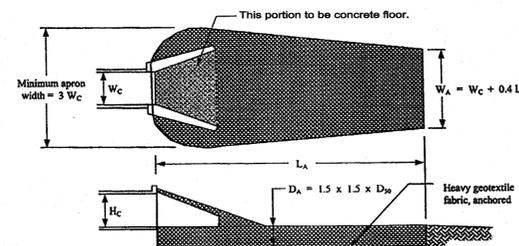
SECTION A-A

- NOTES:
- CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR EXITING THE CONSTRUCTION SITE.
 - CONSTRUCTION ENTRANCE SHALL BE PROPERLY MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS/STREETS. PERIODIC TOP DRESSING AND ADDITIONAL STONE IS REQUIRED TO MAINTAIN ENTRANCE IN GOOD WORKING CONDITION.
 - ALL SEDIMENTS SPILLED, WASHED OR TRACKED ONTO PUBLIC ROADWAY SHALL BE CLEANED AND REMOVED IMMEDIATELY.
 - WIDTH SHALL BE INCREASED AS NEEDED TO ACCOMMODATE ANTICIPATED TRAFFIC.

REVISION	DATE		Town Of Nolensville Telephone (615) 776-3633 FAX (615) 776-3634	CONSTRUCTION EXIT
ADDED	6-12-2003			SW-1
				N. T. S.



Tailwater < 0.5 Hc and Assuming Full Culvert Flow (Low Tailwater Conditions)



Tailwater > 0.5 Hc and Assuming Full Culvert Flow (High Tailwater Conditions)

- Hc = height of culvert
 Wc = width of culvert
 La = length of riprap apron
 Wa = width of riprap apron at end
 D50 = median riprap size
 Dmax = maximum size of riprap = 1.5 D50
 Da = depth of riprap apron = 1.5 Dmax

REVISION	DATE		Town Of Nolensville Telephone (615) 776-3633 FAX (615) 776-3634	OUTLET PROTECTION
ADDED	6-12-2003			(PAGE 1 OF 2)
				SW-7
				N. T. S.

Riprap Outlet Protection Specifications

This table is intended to select two parameters for the design of riprap outlet protection, based upon outlet velocities that correspond with circular culverts flowing full. Flow values less than the lowest value for the culvert size usually indicate a full-flow velocity less than 5 feet per second, for which riprap is usually not necessary. Flow values more than the highest value for the culvert size usually indicate that a concrete stilling basin or energy dissipator structure is necessary.

Adjust values upward if the circular culvert is not flowing full based upon outlet conditions. For noncircular pipe, convert into an equivalent cross-sectional area of circular culvert to continue design.

Riprap Aprons for Low Tailwater (downstream flow depth < 0.5 x pipe diameter)

Cfs	Lowest value		Intermediate values to interpolate from						Highest value						
	Q	D50	Q	La	D50	Q	La	D50	Q	La	D50				
12"	4	7	2.5	6	10	3.5	9	13	6	12	16	7	14	17	8.5
15"	6.5	8	3	10	12	5	15	16	7	20	18	10	25	20	12
18"	10	9	3.5	15	14	5.5	20	17	7	30	22	11	40	25	14
21"	15	11	4	25	18	7	35	22	10	45	26	13	60	29	18
24"	21	13	5	35	20	8.5	50	26	12	65	30	16	80	33	19
27"	27	14	5.5	50	24	9.5	70	29	14	90	34	18	110	37	22
30"	36	16	6	60	25	9.5	90	33	15.5	120	38	20	140	41	24
36"	56	20	7	100	32	13	140	40	18	180	45	23	220	50	28
42"	82	22	8.5	120	32	12	160	39	17	200	45	29	260	52	26
48"	120	26	10	170	37	14	220	46	19	270	54	23	320	64	37

Riprap Aprons for High Tailwater (downstream flow depth > 0.5 x pipe diameter)

Cfs	Lowest value		Intermediate values to interpolate from						Highest value						
	Q	D50	Q	La	D50	Q	La	D50	Q	La	D50				
12"	4	8	2	6	18	2.5	9	28	4.5	12	36	7	14	40	8
15"	7	8	2	10	20	2.5	15	34	5	20	42	7.5	25	50	10
18"	10	8	2	15	22	3	20	34	5	30	50	9	40	60	11
21"	15	8	2	25	32	4.5	35	48	7	45	58	11	60	72	14
24"	20	8	2	35	36	5	50	55	8.5	65	68	12	80	80	15
27"	27	10	2	50	41	6	70	58	10	90	70	14	110	82	17
30"	36	11	2	60	42	6	90	64	11	120	80	15	140	90	18
36"	56	13	2.5	100	60	7	140	85	13	180	104	18	220	120	23
42"	82	15	2.5	120	50	6	160	75	10	200	96	14	260	120	19
48"	120	20	2.5	170	58	7	220	85	12	270	105	16	320	120	20

Table 1

REVISION	DATE		Town Of Nolensville Telephone (615) 776-3633 FAX (615) 776-3634	OUTLET PROTECTION TABLE
ADDED	6-12-2003			(PAGE 2 OF 2)
				SW-7
				N. T. S.

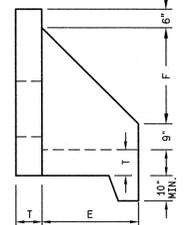
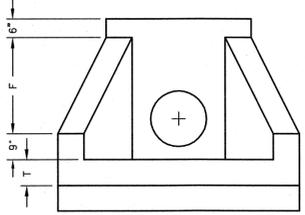
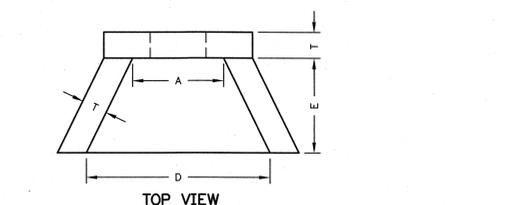
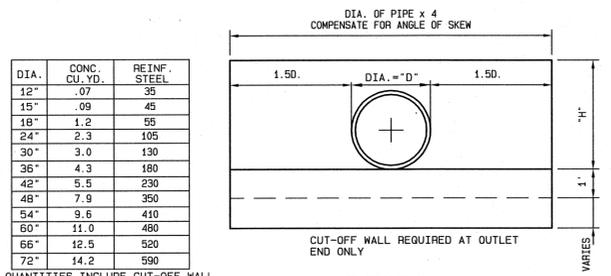


TABLE OF DIMENSIONS

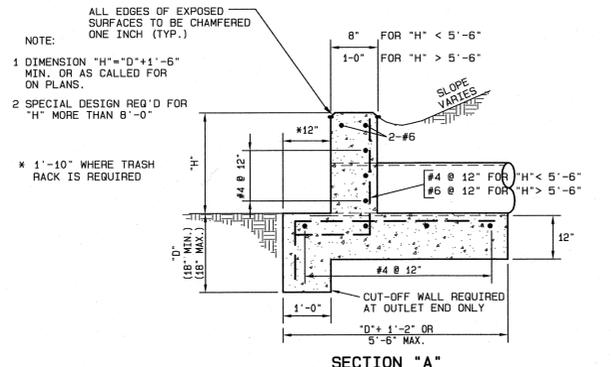
SIZE	A	D	E	F	T(MIN)
15"	2'-6"	5'-0"	2'-6"	1'-9"	6"
18"	2'-6"	5'-0"	2'-6"	1'-9"	6"
21"	2'-6"	5'-0"	2'-6"	1'-9"	6"
24"	4'-0"	6'-6"	4'-0"	3'-3"	6"
30"	4'-0"	6'-6"	4'-0"	3'-3"	6"
36"	5'-6"	8'-0"	3'-6"	4'-5"	6"
42"	5'-6"	8'-0"	3'-6"	4'-5"	6"
48"	5'-6"	8'-0"	3'-6"	4'-5"	6"
54"	7'-0"	9'-5"	4'-6"	5'-9"	6"
60"	7'-0"	9'-5"	4'-6"	5'-9"	6"
66"	8'-6"	11'-0"	5'-6"	6'-11"	6"
72"	8'-6"	11'-0"	5'-6"	6'-11"	6"

- NOTES:
- CONCRETE SHALL BE 4000 PSI @ 28 DAYS REINFORCED WITH NO. 4 BARS @ 10" O.C. EACH WAY WITH WINGS AND TOE SLAB DOWELED TO HEADWALL WITH NO. 5 BARS
 - 3/4" CHAMFER ON ALL EXPOSED EDGES.
 - ENERGY DISSIPATORS SHALL BE ADDED WHERE VELOCITIES WARRANT SAME.

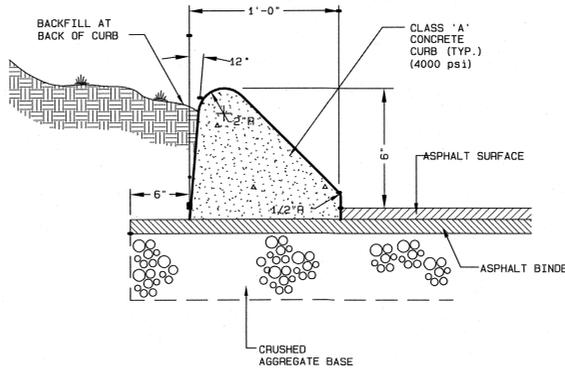
REVISION	DATE		Town Of Nolensville Telephone (615) 776-3633 FAX (615) 776-3634	PRECAST CONCRETE HEADWALL
ADDED	12-02-1999			TYPICAL DETAIL
				DR-1
				N. T. S.



QUANTITIES INCLUDE CUT-OFF WALL



REVISION	DATE		Town Of Nolensville Telephone (615) 776-3633 FAX (615) 776-3634	REINFORCED CONCRETE HEADWALL
ADDED	12-02-1999			TYPICAL DETAIL
				DR-2
				N. T. S.



THIS CURB IS ONLY PERMITTED FOR USE IN THE ER ZONING DISTRICT.

REVISION	DATE		Town Of Nolensville Telephone (615) 776-3633 FAX (615) 776-3634	MOUNTABLE CURB
ADDED	12-02-1999			TYPICAL DETAIL
AMENDED	8-14-2003			RW-12
				N. T. S.

PROVIDENCE BAPTIST CHURCH
 PARKING LOT EXPANSION
 1668 SUNSET ROAD
 TOWN OF NOLENSVILLE
 WILLIAMSON COUNTY, TENNESSEE

DATE:	JANUARY 2016	DRAWN BY:	KLU
DWG SCALE:	AS SHOWN	CHECKED BY:	JJC
PROJECT NO.:	159-921	APPROVED BY:	JBS

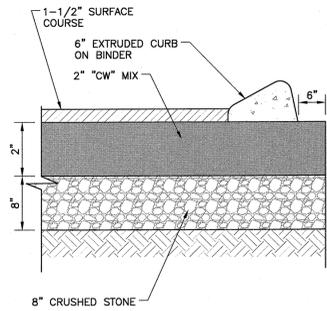
FOR PERMITTING ONLY
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 Date: 12-01-15 By: JBS

DRAWING NO.: **C800**



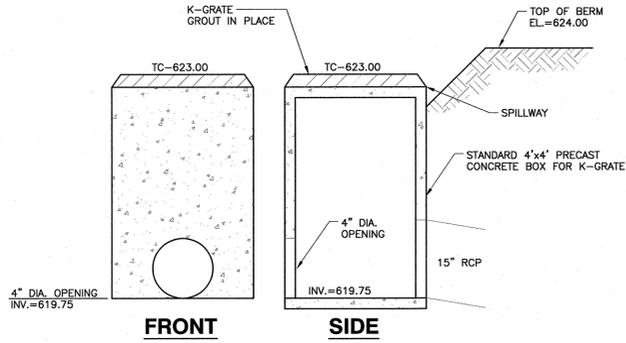
NOTE TO CONTRACTOR:
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* HAND SIGNATURE ON FILE

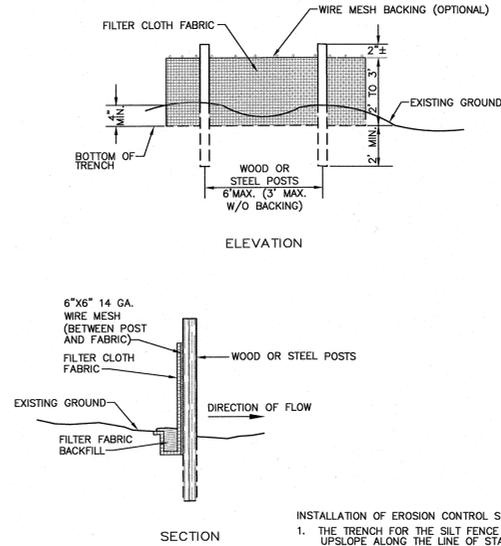


DETAIL 201
ASPHALT PAVEMENT
NOT TO SCALE

OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER

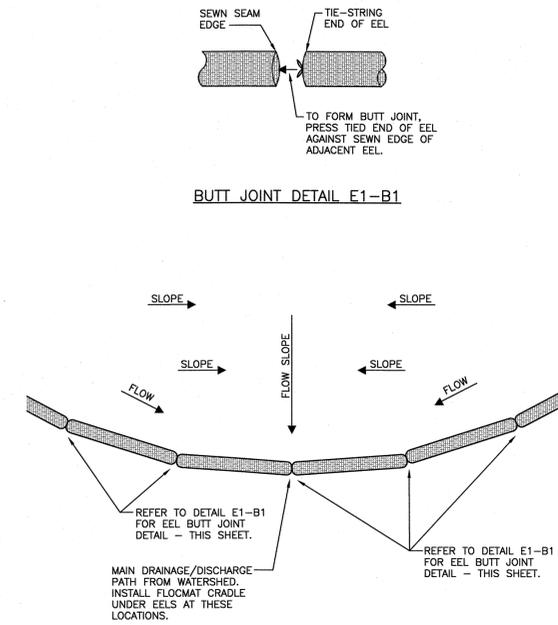


DETAIL 301
OUTLET STRUCTURE DETAIL
NOT TO SCALE



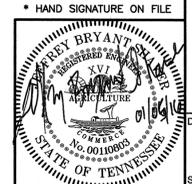
DETAIL 302
SILT FENCE SEDIMENT BARRIER
NOT TO SCALE

- INSTALLATION OF EROSION CONTROL STRUCTURES:
1. THE TRENCH FOR THE SILT FENCE SHALL BE 4"x4", UPSLOPE ALONG THE LINE OF STAKES.
 2. STAPLE THE FILTER MATERIAL TO THE STAKES AND EXTEND THE MATERIAL INTO THE TRENCH.
 3. BACKFILL THE TRENCH AND COMPACT THE EXCAVATED SOIL ALONG THE UPSLOPE OF THE FILTER MATERIAL.



DETAIL 303
ARRANGEMENT OF EELS USED FOR PERIMETER CONTROL
NOT TO SCALE

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION
Date: 12-01-15 By: JBS



DATE:	JANUARY 2016	DRAWN BY:	KLU
DWG SCALE:	AS SHOWN	CHECKED BY:	JJC
PROJECT NO.:	153-921	APPROVED BY:	JBS

PROVIDENCE BAPTIST CHURCH
PARKING LOT EXPANSION
1668 SUNSET ROAD
TOWN OF NOLENSVILLE
WILLIAMSON COUNTY, TENNESSEE

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325 Seaboard Lane - Suite 170 - Franklin, TN 37067
615-333-7797 - 800-763-2326
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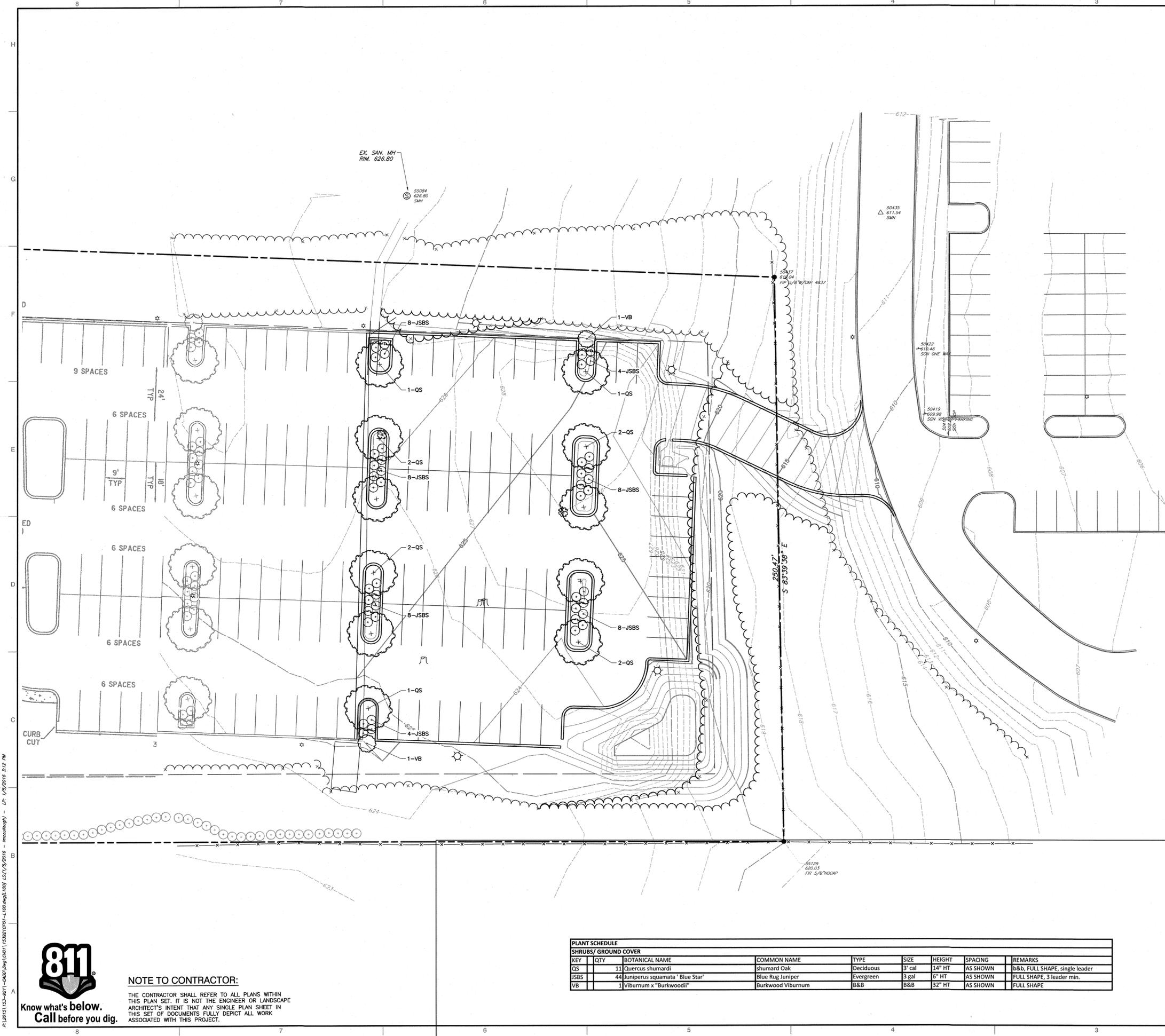
NO	DATE	DESCRIPTION

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NOTE TO CONTRACTOR:
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DRAWING NO.: **C801**
SHEET OF



- LEGEND:**
- EXISTING PROPERTY LINE
 - - - EXISTING ADJACENT PROPERTY LINE
 - - - EXISTING EASEMENT
 - - - EXISTING INDEX CONTOUR
 - - - EXISTING INTERMEDIATE CONTOUR
 - x x x EXISTING FENCE
 - - - EXISTING DITCH FLOW LINE
 - SAN EXISTING SANITARY SEWER LINE
 - ST EXISTING STORM SEWER LINE
 - G EXISTING GAS LINE
 - W EXISTING WATER LINE
 - FO EXISTING FIBER OPTIC LINE
 - T EXISTING TELEPHONE LINE
 - UG-E EXISTING UNDERGROUND ELEC. LINE
 - OH-E EXISTING OVERHEAD ELECTRIC
 - EXISTING TREELINE
 - x 619.23 EXISTING SPOT ELEVATION
 - IRON PIN FOUND
 - ⊕ BENCHMARK
 - △ MAG NAIL SET
 - ⊙ SIGN
 - ⊙ SANITARY MANHOLE
 - ⊙ TREE, DECIDUOUS
 - ⊙ STUMP
 - PROPOSED CURB
 - - - PROPOSED INDEX CONTOUR
 - - - PROPOSED INTERMEDIATE CONTOUR
 - ⊙ EXISTING SHRUB
 - ⊙ EXISTING TREE
 - ⊙ PROPOSED SHRUB
 - ⊙ PROPOSED TREE
 - PROPOSED TREE LINE

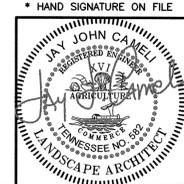
- NOTES**
- SEE CIVIL SHEETS FOR GENERAL, SURVEY, DEMOLITION, LAYOUT, GRADING, DRAINAGE, AND UTILITY NOTES.
 - SEE PLANT LIST THIS SHEET.
 - SEE SHEET L102 FOR LANDSCAPE NOTES AND DETAILS.
 - PHASE 3 CONSISTS OF 1.1 ACRES AND WILL PROVIDE PARKING AND DETENTION FOR THE SITE. THE REMAINDER OF THE SITE IS 4 ACRES. THE TOTAL SITE CONSISTS OF 5.1 ACRES WHICH REQUIRES 74.1 TREE DENSITY UNITS PER THE ORDINANCE REQUIREMENTS. PHASE 1 OF THE PROJECT, WHICH WAS PREVIOUSLY APPROVED, PROVIDED 155.4 TREE DENSITY UNITS. PHASE 1 PROVIDES SUFFICIENT TREE DENSITY UNITS FOR THE ENTIRE PROJECT.
 - HOSE BIB IN PHASE 1 PROVIDES IRRIGATION IN PHASE 3.

PLANT SCHEDULE									
SHRUBS/ GROUND COVER									
KEY	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS	
QS	11	Quercus shumardi	shumard Oak	Deciduous	3' cal	14" HT	AS SHOWN	b&b, FULL SHAPE, single leader	
JSBS	44	Juniperus squamata 'Blue Star'	Blue Rug Juniper	Evergreen	3 gal	6" HT	AS SHOWN	FULL SHAPE, 3 leader min.	
VB	1	Viburnum x "Burkwoodii"	Burkwood Viburnum	B&B	B&B	32" HT	AS SHOWN	FULL SHAPE	

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FOR PERMITTING ONLY
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 Date: 01-09-18 By: JJS
 SCALE IN FEET
 0 20' 40'



REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 - 800-763-2326
 www.ceinc.com

**PROVIDENCE BAPTIST CHURCH
 PARKING LOT EXPANSION
 1668 SUNSET ROAD
 TOWN OF NOLENSVILLE
 WILLIAMSON COUNTY, TENNESSEE**

LANDSCAPE PLAN
 JANUARY 2016 DRAWN BY: KLU
 AS SHOWN CHECKED BY: JBS
 PROJECT NO: 153-921
 APPROVED BY: *JJC
 DRAWING NO.: **L100**
 SHEET OF

P:\2015\153-921-0001\Draw\153-921-0001.dwg (1/9/2016 3:12 PM) - mscad@ceinc.com

CONTRACTOR SHALL PROVIDE SITE SOILS REPORT AND ANALYSIS PER THE WRITTEN SPECIFICATIONS.

PLANTING SOIL MIX NOTES

THE LANDSCAPE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE FROM THE CONTRACTOR. ALL TOPSOIL SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE. TO BE UTILIZED REFER TO THE SPECIFICATIONS FOR TOPSOIL REQUIREMENTS. IF OFF-SITE TOPSOIL IS TO BE UTILIZED REFER TO THE SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.

THE TYPICAL PLANTING SOIL MIX FOR BEDS AND PLANT BACKFILL SHALL CONSIST OF THE FOLLOWING:

- 60% TOPSOIL
- 40% PREPARED ADDITIVES (BY VOLUME AS FOLLOWS)
 - 2 PARTS HUMUS AND OR PEAT
 - 1 PART COARSE RIVER SAND
 - 1 PART STERILIZED COMPOSED COW MANURE
 - 1 PART FINE PINE BARK

COMMERCIAL FERTILIZER AND LIME AS RECOMMENDED BY THE SOILS TEST REPORT. WELL BLEND PLANTING SOIL MIX PRIOR TO PLACEMENT. ROOT STIMULATOR - SEE NOTES BELOW.

LANDSCAPE GENERAL NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING NEWLY CONSTRUCTED AND EXISTING UTILITIES. HE SHALL NOTIFY THE OWNERS OF PUBLIC UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING PLANTING OPERATIONS.

GENERAL CONTRACTOR SHALL ERECT TREE PROTECTION FENCING. FENCING SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT BEFORE BEGINNING WORK. CONTRACTOR SHALL MAINTAIN FENCING THROUGHOUT THE DURATION OF PROJECT.

PLANT MATERIAL SHALL MEET OR EXCEED SPECIFICATIONS AND SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK BOOK. THE CONTRACTOR SHALL GUARANTEE THAT THE MATERIAL INSTALLED ON SITE IS IN FACT THE MATERIAL THAT WAS SPECIFIED BY THE LANDSCAPE ARCHITECT. ANY CHANGES IN SPECIES SPECIFIED SHALL BE SUBMITTED IN WRITING TO, AND APPROVED/REJECTED BY THE LANDSCAPE ARCHITECT.

IN THE EVENT ANY ERROR(S) ARE FOUND ON THESE DRAWINGS OR OUT IN THE FIELD THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK. SHOULD THE CONTRACTOR FAIL TO CONTACT THE LANDSCAPE ARCHITECT, HE/SHE WILL BE RESPONSIBLE FOR THE COST OF ANY CORRECTION TO BE MADE.

ALL WORK SHALL BE PERFORMED BY FULLY QUALIFIED PLANTSMEN. USE GOOD HORTICULTURAL PRACTICES TO KEEP ALL PLANTS AND PLANT MATERIAL INSTALLED IN A LIVING, HEALTHY CONDITION UP TO THE DATE FOR TERMINATION OF THE CONTRACTOR'S RESPONSIBILITY FOR CARE.

THE PLANTS DELIVERED TO THE PROJECT SITE SHALL BE PLANTED AS SOON AS SITE CONDITIONS PERMIT. TAKE CARE IN SCHEDULING PLANT DELIVERIES AND THE SIZE OF DELIVERIES SO THAT LONG PERIODS OF STORAGE ARE AVOIDED. ADEQUATELY PROTECT PLANTS PLACED IN TEMPORARY STORAGE FROM THE SUN AND WIND. WATER PLANTS SO AS TO MAINTAIN THEIR APPEARANCE AND HEALTH. PLANTS THAT HAVE NOT BEEN PROPERLY MAINTAINED DURING TEMPORARY STORAGE MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.

THE OPTIMUM TIME FOR PLANTING IS FROM OCTOBER 1 TO APRIL 1. SCHEDULING FOR PLANTING AT OTHER TIMES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

PLANTING BED SHALL BE CLEARED OF GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS.

FERTILIZE ALL PLANT MATERIAL AT INSTALLATION WITH PETER'S SLOW RELEASE 20-20-20 OR EQUIVALENT APPROVED BY LANDSCAPE ARCHITECT. FOLLOW PACKAGE DIRECTIONS OR APPLY 15 POUNDS PER 1,000 SQUARE FEET. APPLY FERTILIZER BEFORE MULCHING.

ALL DISTURBED AREAS ARE TO BE SEEDED AS DIRECTED BY THE LANDSCAPE ARCHITECT.

PLANTING BEDS SHALL HAVE A 4-INCH SHREDDED HARDWOOD BARK MULCH IN ENTIRE BED, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL PLANTED AREAS SHALL BE TREATED WITH A WATER SOLUBLE HERBICIDE FOR THE NON-SELECTIVE CONTROL OF ANNUAL AND PERENNIAL WEEDS PRIOR TO PLANTING.

APPLY TWO POUNDS ACTUAL NITROGEN (IN SLOW RELEASE FORM) PER 1,000 SQUARE FEET TO ALL SHRUB AND TREE PLANTINGS BEFORE LAYING MULCH.

THE CONTRACTOR SHALL REMOVE FROM THE SITE ANY MATERIAL WHICH TURNS BROWN OR DECOLORATES WITHIN FIVE (5) DAYS AFTER PLANTING. REPLACE IMMEDIATELY WITH APPROVED SPECIFIED MATERIALS.

THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWNS UNTIL THE PROJECT IS ACCEPTED BY THE LANDSCAPE ARCHITECT, OR UNLESS OTHERWISE SPECIFIED.

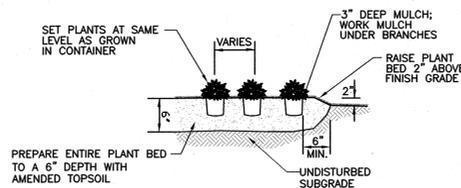
THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE CALENDAR YEAR, FROM THE DATE THE PROJECT IS ACCEPTED.

ALL TREES SHALL BE FIRST QUALITY REPRESENTATIVES OF THEIR SPECIES AND SHALL MEET ALL REQUIREMENTS OTHERWISE STIPULATED. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANTED MATERIAL IN THE FIELD, AT THE GROWING SITE OR ON THE JOB SITE.

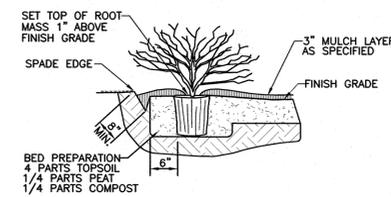
ALL TREES AND SHRUBS SHALL BE INSTALLED ACCORDING TO THE DETAILS LOCATED ON THIS SHEET.

DISPOSE OF ALL SURPLUS MATERIAL AS DIRECTED BY THE OWNER.

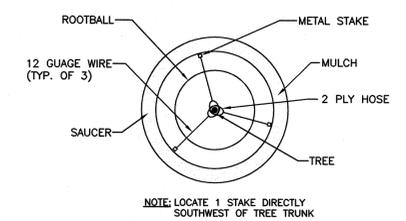
REPLACEMENT OF DEAD MATERIAL: THE PROPERTY OWNER SHALL REPLACE REQUIRED PLANTS WHICH DIE WITHIN 2 YEARS OF ISSUANCE OF A CERTIFICATE OF OCCUPANCY. REPLACEMENTS SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME WITHIN PLANTING SEASON, AND REPLACEMENTS SHALL BE AS SHOWN ON THE ORIGINAL OR SUBSEQUENTLY APPROVED LANDSCAPE PLAN. FAILURE TO COMPLY WITH THIS REQUIREMENT SHALL BE DEEMED TO BE A VIOLATION UNDER ARTICLE 9.6.3.



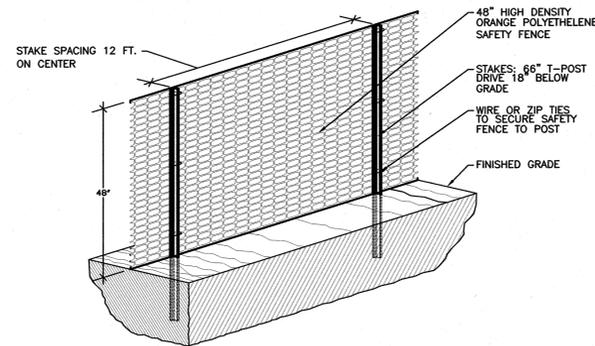
DETAIL 3 - ORNAMENTAL GRASS/ PERENNIAL AND GROUND COVER PLANTING DETAIL
NOT TO SCALE



DETAIL 2 - SHRUB/ SMALL TREE PLANTING DETAIL
NOT TO SCALE



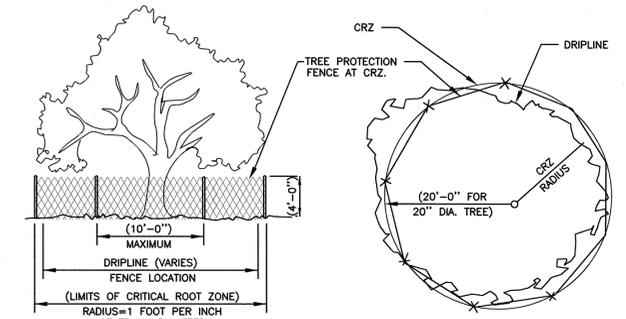
DETAIL 1 - TREE STAKING DETAIL
NOT TO SCALE



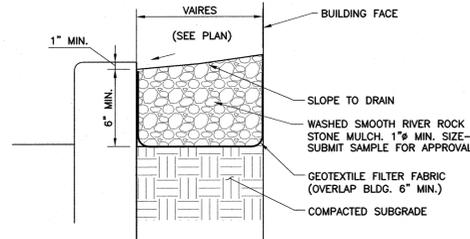
DETAIL 5 - 48" TREE PROTECTION FENCE
NOT TO SCALE

TREE PROTECTION NOTES:

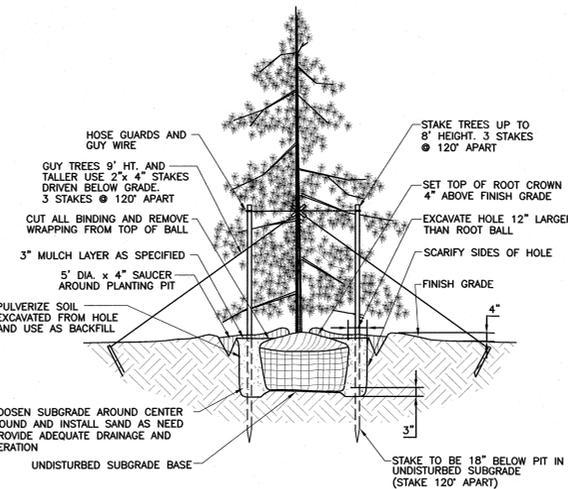
1. INSTALL TREE PROTECTION FENCING EXACTLY AS SHOWN IN DETAIL. ADJUST LOCATION IN FIELD.
2. INSTALL FENCING PRIOR TO ANY EARTH DISTURBING ACTIVITIES IN THE AREA.
3. NO STAGING, EQUIPMENT OR VEHICLES ADJACENT TO TREE PROTECTION AREAS.
4. UPON COMPLETION OF WORK-CONTRACTOR TO REMOVE TREE PROTECTION FENCING AND DISPOSE OF OFF-SITE.



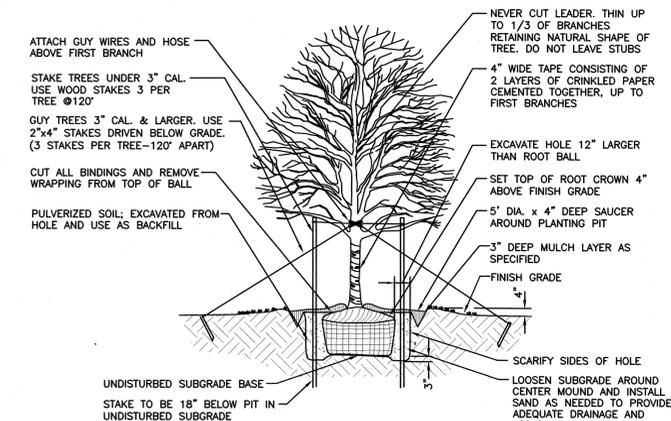
DETAIL 4 - 48" TREE PROTECTION DETAIL
NOT TO SCALE



DETAIL 8 - STONE MULCH DETAIL
NOT TO SCALE



DETAIL 7 - EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



DETAIL 6 - SHADE TREE PLANTING DETAIL
NOT TO SCALE

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
325 Seaboard Lane - Suite 170 - Franklin, TN 37067
615-333-7797 - 800-763-2326
www.cecinc.com

**PROVIDENCE BAPTIST CHURCH
PARKING LOT EXPANSION
1668 SUNSET ROAD
TOWN OF NOLENSVILLE
WILLIAMSON COUNTY, TENNESSEE**

LANDSCAPING SCHEDULES	
DATE:	JANUARY 2016
DRAWN BY:	KLU
CHECKED BY:	JBS
PROJECT NO.:	153-921
APPROVED BY:	JJC



FOR PERMITTING ONLY
NOT FOR CONSTRUCTION
Date: 01-05-16 By: JJC



NOTE TO CONTRACTOR:
THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE ENGINEER OR LANDSCAPE ARCHITECT'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

DRAWING NO.: **L101**
SHEET OF