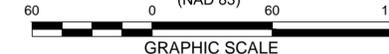
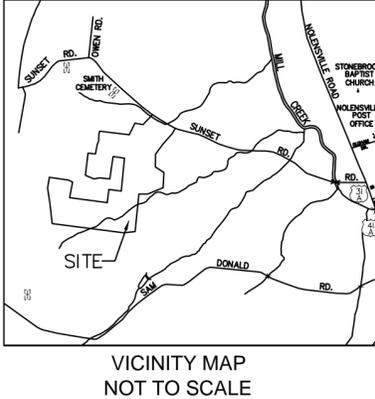


Source of North Tennessee Grid North GPS-GEIOD 2003 (NAD 83)



ASTERISKS DENOTES CRITICAL LOT SEE NOTE

Prior to the issuance of a building permit for a residential lot with a slope of 15% or greater, a plan shall be prepared by a licensed professional engineer for approval by the Town Engineer showing existing topographic information from field run survey data, boundary and setback lines, utility and drainage easements, existing and proposed drainage pipes, ditches, swales to be connected to public drainage easements, existing and proposed drainage pipes, ditches, swales to be connected to public drainage lines and/or to direct or re-direct storm water run-off, the proposed building footprint and the driveway plan, including the finished floor elevations and finished grades of pavement and ground lines, identification of existing trees in excess of four inch caliper and trees to be preserved, and the location and timing of installation of erosion features. No clear cutting of trees or grading of the lot shall be permitted until approval of the site plan by the Town Engineer.



VICINITY MAP NOT TO SCALE

GROVE PARK PARTNERS LLC Deed Book 5448, Page 499 R.O.W.C. Tax Map 56, Parcel 68.01 FUTURE DEVELOPMENT

GROVE PARK PARTNERS LLC Deed Book 5448, Page 499 R.O.W.C. Tax Map 56, Parcel 68.01 FUTURE DEVELOPMENT

Certificate of Approval of Streets and Drainage

I hereby certify: (1) that all streets and drainage facilities designated on this final subdivision plat have been installed in an acceptable manner and according to the Town of Nolensville Roadway and Drainage Regulations, or (2) that a surety bond has been posted with the Planning Commission to assure the completion of all required improvements in case of default.

Signature lines for Town Engineer and Town Planner with Date fields.

Certificate of Approval of Subdivision Name, Street Names and Addresses

I hereby certify that the Williamson County and Town of Nolensville has approved the subdivision name, street names, and addresses.

Signature lines for Williamson County and Town of Nolensville with Date fields.

Certificate of Approval of Utility Systems

I hereby certify that the following utility systems outlined or indicated on the final subdivision plat entitled have been installed in accordance with current local and/or state government requirements or that a surety bond has been posted with the Planning Commission to assure completion of all required improvements in case of default. Also, I certify that the hydraulic design criteria specified in Section 5.5 and Section 5.6 of the Nolensville Subdivision Regulations have been met.

Signature lines for Water, Sewer, and Gas utility systems with Date and Agency fields.

Certificate of Approval for Recording

I hereby certify that the subdivision plat shown herein has been found to comply with the Subdivision Regulations for Nolensville, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Williamson County Register of Deeds.

Signature line for Secretary, Planning Commission with Date field.

Certificate of Approval of Electric Provider

I hereby certify that the requirements set forth in rules, regulations, by-laws, policy and operational bulletins, plat approval checklist and tree planting guidelines have been met for. Any approval is at all times contingent upon continuing compliance with the aforementioned requirements.

Signature line for Electric Provider with Date field.

PLAT NOTES

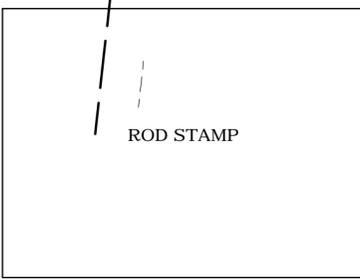
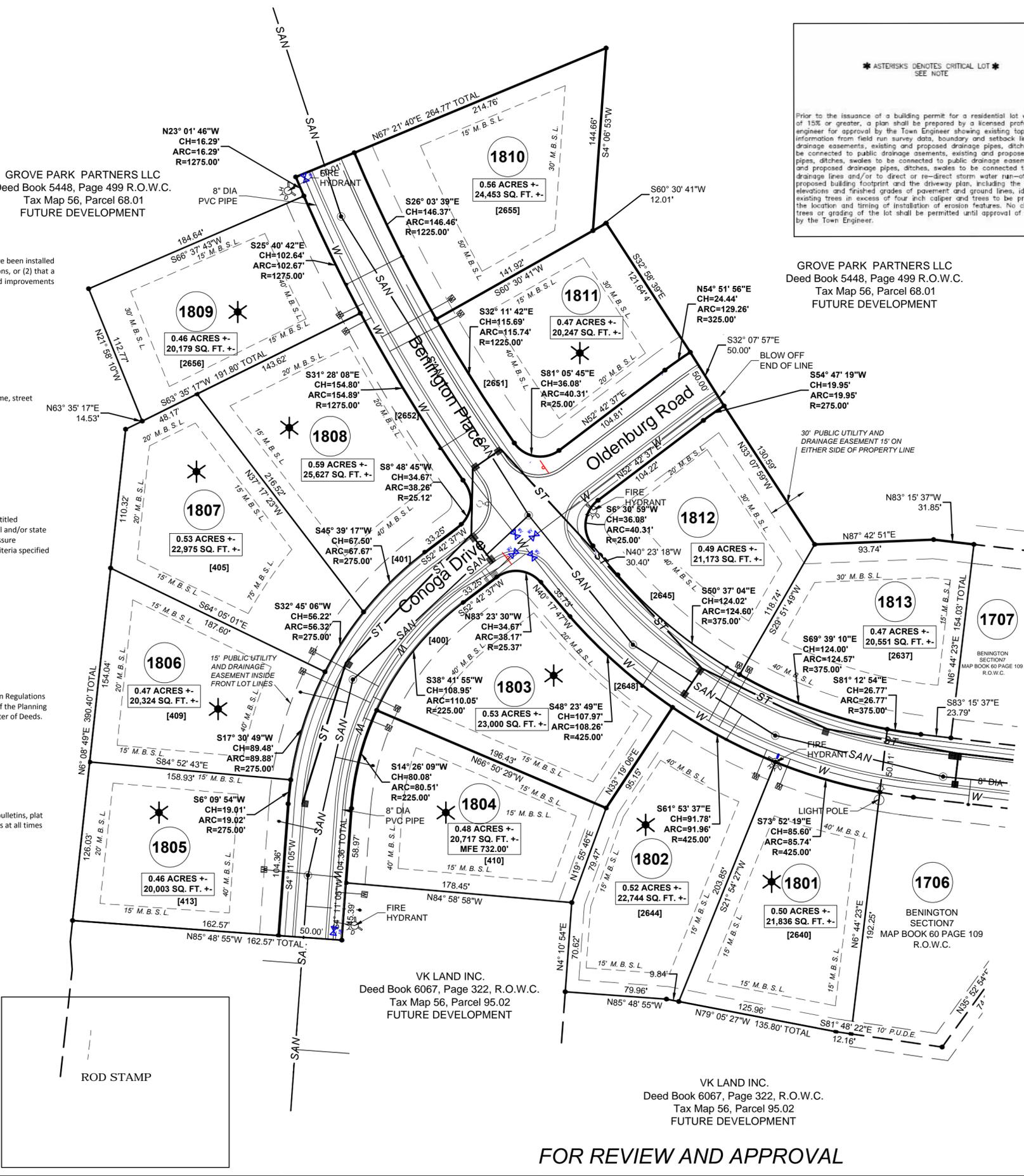
- 1. This Plat is being recorded to create 13 single family lots.
2. In accordance with single family zoning regulations, detailed restrictive covenants are recorded in Book 5488, Page 499, R.O.W.C.
3. All utilities shall be located underground.
4. All Open Space area Right-of-Ways shall be Public Utility and Drainage Easements.
5. All lots to be served by sanitary sewer.
6. All grading, fill storage, and ground disturbance shall be strictly confined to the building envelope and the Public Utility/Drainage Easement.
7. Subject property is part of Parcel 68.01 on Property Map 56.
8. Bearings shown hereon are Tennessee Grid.
9. This property is not located within a flood hazard area as indicated on Federal Emergency Management Agency Map Community Panel No. 4702040090 E, dated January 16, 003. (Zone X)
10. Home Owner's Association will maintain all Open Space, landscape and drainage facilities. All internal roadways shall be public street constructed to the Town of Nolensville specifications in public right-of-ways.
11. New monuments will be iron rod with aluminum caps. All iron rods existing with Gresham, Smith and Partners cap are 3/8" diameter rebar.
12. This Plat subdivided the property found in Deed Book 5260, Page 135.
13. Homes will be equipped with individual sprinkler systems.
14. There will be no clearing, grading, construction or disturbance of vegetation except as permitted by the approved plans or the Nolensville Town Engineer.
15. Before construction commences on any lot, call Tennessee One-Call at 1-800-351-1111. Location of underground utilities shown on map as proposed, not as installed.
16. Utilities shown are proposed and should not be considered as-built.
17. Street addresses shown in box [1601]
18. Zoning SR
19. Total Area 7.92 Acres more or less or 345,006 square feet more or less

Certification of Ownership and Dedication

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book _____, Page _____, R.O.W.C., Tennessee, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction line, and that offers of irrevocable dedication for all public streets, utilities and other facilities have been filed as required by these Regulations. No lot(s) as shown hereon shall again be subdivided, re-subdivided, altered or changed so as to produce less area than is hereby established until otherwise approved by the Nolensville Planning Commission, and under no condition shall such lot(s) be made to produce less area than is prescribed by the restrictive covenants as of record in Book _____, Page _____, R.O.W.C., Tennessee, running with the title to the property.

Signature lines for Owner with Date and Title fields.

LEGEND table with symbols for various features like Iron Rod, Water Meter, Fire Hydrant, Light Pole, Telephone Pedestal, Electric Box, Water Line, Sewer Line, Gas Line, Lot Number, Headwall, M.B.S.L., Storm Sewer Line.



VK LAND INC. Deed Book 6067, Page 322, R.O.W.C. Tax Map 56, Parcel 95.02 FUTURE DEVELOPMENT

VK LAND INC. Deed Book 6067, Page 322, R.O.W.C. Tax Map 56, Parcel 95.02 FUTURE DEVELOPMENT

FOR REVIEW AND APPROVAL

GRESHAM SMITH AND PARTNERS logo and contact information: 1400 NASHVILLE CITY CENTER, 511 UNION STREET, NASHVILLE, TENNESSEE 37219, 615-770-8100, WWW.GSPNET.COM. PROJECT NUMBER: 23717.01, DATE: 3/31/2015.

PROPERTY INFORMATION: OWNER(S): BILL KOTTAS, GROVE PARK PARTNERS, LLC, 5205 COLLETON WAY, BRENTWOOD, TN 37027. RECORDED DOCUMENTS FOR PROPERTY: DEED BOOK 6189 PAGE 915, DEED BOOK 6067 PAGE 322.

FINAL PLAT OF BENINGTON SUBDIVISION SECTION 8, 17 TH CIVIL DISTRICT, TOWN OF NOLENSVILLE, WILLIAMSON COUNTY, TENNESSEE.

Certificate of Accuracy: I hereby certify that the plan shown and described hereon is an accurate survey to the accuracy required by the Nolensville Planning Commission and that the monuments have been or will be placed as shown hereon, to the specifications of the Subdivision Regulations, as approved by the Town Engineer. I also certify that this is a category 1 survey and the ratio of precision of the unadjusted survey is 1:25,652 as shown hereon. Date _____, 2015. Registered Land Surveyor.

Registered Land Surveyor Date: Kenneth D. Church, TN RLS #1004. Gresham, Smith and Partners, 1400 Nashville City Center, 511 Union Street, Nashville, Tennessee 37219, 615-770-8136.

PREPARED FOR: BILL KOTTAS, GROVE PARK PARTNERS, LLC, 5205 COLLETON WAY, BRENTWOOD, TN 37027.

Project Surveyor: KDC, Field Crew: GG. Date Field Work: QC Check: KDC. REVISIONS table with columns for NO, DATE, REVISION, BY, CHK.