

**LEGEND**

○ FOUND PIN OR PIPE P(Ø)	● SANITARY SEWER MANHOLE
● SET IRON PIN P(N)	⊕ WATER VALVE
□ FOUND MONUMENT MON(Ø)	⊕ FIRE HYDRANT
■ SET MONUMENT MON(N)	⊕ LIGHT POLE
— PROPERTY LINE	⊕ POWER POLE
— YARD LINE	— GUY WIRE
— EASEMENT LINE	[XXX] STREET ADDRESS

**SURVEYOR'S NOTES:**

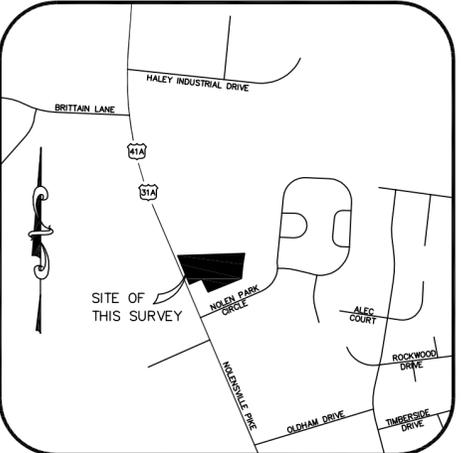
- The purpose of this plat is to create one lot.
- The total area shown hereon is 8.00± Acres or 348,343± Square feet.
- This property currently identified as Parcels 55.00 and 55.01 on Tax Map No. 056.
- Deed reference: Record Book 5935, Page 397, as recorded in the Register's Office of Williamson County, Tennessee.
- Bearings based on: Tennessee State Plane (NAD 83).
- By my review of available information, which is subject to map inaccuracies and scaling, this property is in Zone "X" of the Flood Insurance Rate Map Community Panel Number 47187C0235F effective date of September 29, 2006. Only an elevation certificate can determine the exact designation. Based on the information above, this property IS NOT in a special flood hazard area.

- All construction and use of the proposed facility to meet the applicable performance standards as set forth in the Town of Nolensville Zoning Ordinance.

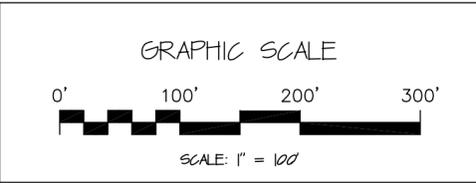
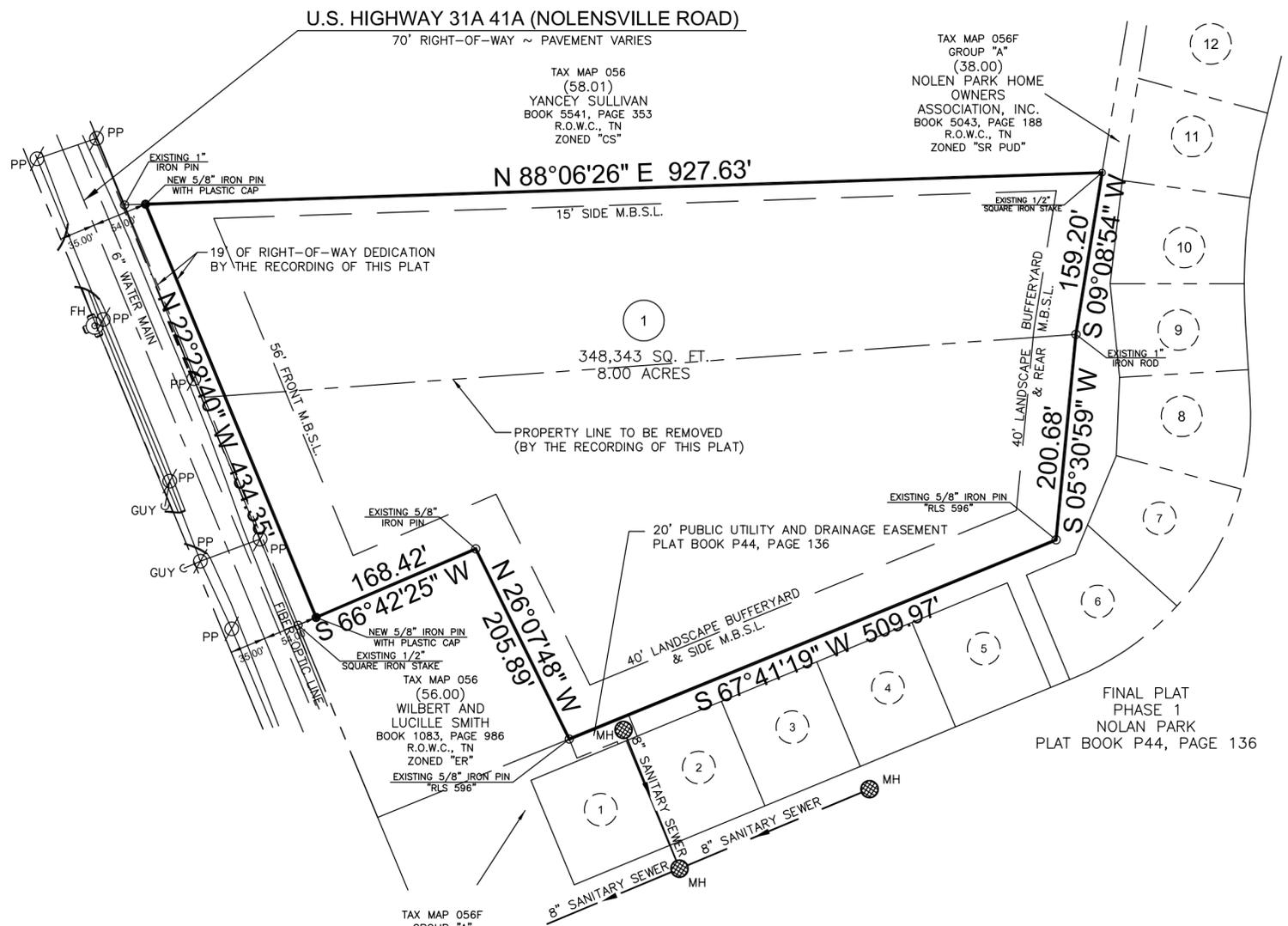
Current Zoning is "CS" Commercial Services District  
 Front Yard - 55'  
 Side Yard - 15'  
 Rear Yard - 20'

This survey is in compliance with standards of practice for the State of Tennessee, Board of Examiners for Land Surveyors, Chapter 0820-03-05. The boundary survey was by random traverse with subsequent side shots with a Topcon 8205A Robotic Total Station having an error of closure for the unadjusted traverse exceeding 1:10,000, and/or by GPS with a Topcon Hiper Lite + Dual Frequency RTK base and rover with a relative positional accuracy +/-0.05+100 PPM.

This survey is classified as a:  
 Urban and Subdivision (Category I)  
 Suburban and Subdivision (Category II)  
 All Other Land Surveys (Category III)



VICINITY MAP  
(N.T.S.)



**CERTIFICATE OF APPROVAL OF SUBDIVISION NAME**

I HEREBY CERTIFY THAT THE WILLIAMSON COUNTY EMERGENCY AGENCY HAS APPROVED THE SUBDIVISION NAME AND STREET NAME(S).

DATE: \_\_\_\_\_ WILLIAMSON CO. EMERGENCY COMMUNICATIONS

TAX MAP 056F  
 GROUP "A"  
 (38.00)  
 NOLEN PARK HOME OWNERS ASSOCIATION, INC.  
 BOOK 5043, PAGE 188  
 R.O.W.C., TN  
 ZONED "SR PUD"

FINAL PLAT  
 PHASE 1  
 NOLAN PARK  
 PLAT BOOK P44, PAGE 136

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE NOLENSVILLE PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATION OF THE SUBDIVISION REGULATIONS, AS APPROVED BY THE TOWN ENGINEER.



OWNER/DEVELOPER  
**RICE CORP.**  
 1511 SUNSET ROAD  
 BRENTWOOD, TENNESSEE 37027  
 (615) 405-2424  
 CONTACT: MOHSEN MALAKOUTI

**CAPITAL BANK N.A. PROPERTY FINAL PLAT**

0 NOLENSVILLE ROAD, 17TH CIVIL DISTRICT  
 NOLENSVILLE, WILLIAMSON COUNTY, TENNESSEE

DATE OF SURVEY: AUGUST 3, 2014  
 DATE OF DRAWING: SEPTEMBER 30, 2014

SURVEYED BY:  
  
**BLUE RIDGE SURVEYING, INC.**  
 1140 WEST MAIN STREET, P.O. BOX 8072 GALLATIN, TENNESSEE  
 OFFICE (615) 491-6799 CELL (615) 416-4449  
 BLUERIDGESURVEYING@YAHOO.COM

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATION FOR NOLENSVILLE, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE WILLIAMSON COUNTY REGISTER.

DATE: \_\_\_\_\_ SECRETARY, PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS**

I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED CAPITAL BANK N.A. PROPERTY FINAL PLAT HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT, LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN CRITERIA SPECIFIED IN SECTION 5.5 AND 5.6 OF THE NOLENSVILLE SUBDIVISION REGULATIONS HAVE BEEN MET.

WATER SYSTEM: \_\_\_\_\_ DATE \_\_\_\_\_ NOLENSVILLE/COLLEGE GROVE UTILITY DISTRICT

SEWER SYSTEM: \_\_\_\_\_ DATE \_\_\_\_\_ METRO WATER SERVICES

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN DEED BOOK 5935, PAGE 397, R.O.W.C., TENNESSEE AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE REGULATIONS. NO LOT(S) AS SHOWN HEREON SHALL AGAIN BE SUBDIVIDED, RESUBDIVIDED, ALTERED OR CHANGED SO AS TO PRODUCE LESS AREA THAN IS HEREBY ESTABLISHED UNTIL OTHERWISE APPROVED BY THE NOLENSVILLE PLANNING COMMISSION AND UNDER NO CONDITION SHALL SUCH LOT(S) BE MADE TO PRODUCE LESS AREA THAN IS PRESCRIBED BY THE RESTRICTIVE COVENANTS AS OF RECORD IN DEED BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, R.O.W.C., TENNESSEE RUNNING WITH THE TITLE TO THE PROPERTY.

DATE: \_\_\_\_\_ MOHSEN MALAKOUTI, RICE CORP.